



Ordinary Council Meeting

17th May 2016



Papers Relating

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<u>Item Number</u>	<u>Report</u>
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10.1.1

Tenders for Doctors House

Mr Doug Stead
CEO Shire of Dundas
88/92 Princep Street
Norseman WA 6443

9th May 2016

Dear Doug,

Re: Shire of Dundas Doctors Residence – Tender Assessment

Four Tenders were received for the above mentioned project as listed;

➤ Dixon Construction WA P/L	\$663,181.00	(inclusive of GST)
➤ Fleetwood Pty Ltd	\$683,651.00	(inclusive of GST)
➤ Wayne Rodgers	\$710,819.00	(inclusive of GST)
➤ Sime Building Company	\$722,700.00	(inclusive of GST)

Our assessment was focused mainly on the 2 lowest tenders, Dixon Construction WA P/L and Fleetwood P/L as listed;

• Acknowledgement of addendums 1- 3	Dixons and Fleetwood
• Sewer options a) and b)	Dixons and Fleetwood
• Option a) Septic tanks and drains Price included in tender	Dixons and Fleetwood
• Building licence and associated fees	Dixons only
• General construction earthworks	Dixons have allowed PC 5,000.00
• Itemised price for Air-conditioning	Dixons only
• Construction fencing	Dixons only
• BAL assessment	Dixons only
• Tender Breakdown	Dixons only

Dixon Construction WA P/L has also offered an alternative for the wardrobes and linen, doors and shelving, being a savings of \$12,175.90 inc gst from a Esperance cabinetmaker in lieu of specified Uzit Wardrobe.

The pre-tender estimate of probable cost (from several years ago) was \$ 700,000.00 inclusive of GST.

This indicates a Tender Variance of 5.25% below the PTE, (using the TV-PTE/PTE x 100 method)

Dixon Construction WA P/L, director Gavan Dixon has confirmed that they have gone over their tender amount and are satisfied they have covered all that was specified in the tender documents.

Dixon Construction are a reputable Esperance building company and Cartman Designs have over the past few years been involved with project administration on both government and private projects in the Esperance region.

Their standard of work and administration has been of a very high and professional standard, this is supported in the tender submission.

Fleetwood P/L have provided a price for their building to be manufactured off site and delivered in sections.

Their price does not include the following;

1. payment of all building approval fees
2. paving of pathways as shown on the site plan
3. limited air-conditioning *only stipulated to the main living area and have not provided an itemised price*
4. not included earthing of the building or installation of power dome

These were part of the tender requirements and I would therefore deem this to be a non-conforming tender. The lowest tender has included all listed items 1-4 above.

Fleetwood have also included an alternative price based on their own design as you will see in their tender submission, this cannot be assessed with this tender and I would suggest that Council seek a legal opinion on this should they want to consider this type of build.

Items not listed and included in the Tender but need to be considered for by the client;

1. Bush Attack Level (BAL) *lot 144 Mildura is in this zone and may require additional building methods*
2. Perimeter fencing and gates
3. Landscaping and reticulation
4. Fly screens upgraded to full Crimsafe security screens
5. Window Treatments
6. All Whitegoods

With the BAL this has only legislated and enforced in recent months and Dixon Construction WA P/L have included the cost for an assessment to be carried out. I am of the opinion that the resulting level would be classed as Low or 12.5 being the second lowest. Should Low be the result no further action will be required however if the level is classed as 12.5 minor works could be required to comply. It has been suggested an amount of up to \$5,000 could be required to achieve a 12.5 level.

After careful consideration with regard to the above points we recommend that Dixon Constructions WA P/L be considered as the preferred contractor with the tender sum of Six Hundred & Sixty Three Thousand, One Hundred & Eighty One Dollars inclusive of GST (\$663,181.00 inclusive of GST).

We trust that this is of assistance with the evaluation of this contract.

Yours faithfully,


Tim Cartledge

CARTMAN DESIGNS

COMPLETE IN FULL AND LODGE WITH ARCHITECT

I/We EIKON GROUP PTY LTD t/a DIXON CONSTRUCTION (tenderer's name)

Licence no. _____ Registration no. 14605

of 71 THE ESPLANADE, ESPERANCE WA 6450 (address)

hereby tender(s) to perform the work for (proprietor name):

SHIRE OF DUNDAS, PO BOX 163, NORSEMAN WA 6443

in accordance with the following documents and specifications:

(add extra pages if needed)

Fratev Consulting Services Report dated 17/12/2015 10 pages
Tendering and Pre-Contract Information dated 3/3/2016 75 pages
Paradigm Architects Site Plan, Floor Plan, Roof Plan, Elevations, Section A,
Section D, Footing Details, Window & Door Schedules, Electrical Floor
Plan dated 22/3/2016. 12 pages.

For the lump sum (including GST) of:

SIX HUNDRED AND SIXTY THREE THOUSAND ONE HUNDRED AND EIGHTY
ONE DOLLARS, ZERO CENTS Dollars \$ ~~80~~ 663,181.00

Schedule of working days. The number of working days required from date of Letter of Acceptance to complete the work is

175 working days. (excl. Public Holidays)

Signed by JUSTINE EDWARDS, OFFICE MANAGER FOR (Company Directors)

J Edwards

Date this 4th (day) May (month) 20 16

COMPANY SEAL

APPROVED FORM OF UNCONDITIONAL UNDERTAKING
(ADAPTED FROM AS 2124 1992)

At the request of _____ (the contractor)
and in consideration of _____ (the principal, proprietor, owner)
accepting this undertaking in respect of the contract for
(name of project) _____

_____ (name of the "financial institution")
unconditionally undertakes to pay on demand any sum or sums which may from time to time be demanded by the
principal to a maximum aggregate sum of
\$ _____ (_____)

The undertaking is to continue until notification has been received from the principal that the sum is no longer
required by the principal or until this undertaking is returned to the financial institution or until payment to the
principal by the financial institution of the whole of the sum or such part as the principal may require.

Should the financial institution be notified in writing, purporting to be signed by

_____ for and on behalf of the principal that the principal desires payment to be made of the whole or any part or parts of
the sum, it is unconditionally agreed that the financial institution will make the payment or payments to the
principal forthwith without reference to the contractor and notwithstanding any notice given by the contractor not
to pay same.

Provided always that the financial institution may at any time without being required so to do pay to the principal
the sum of

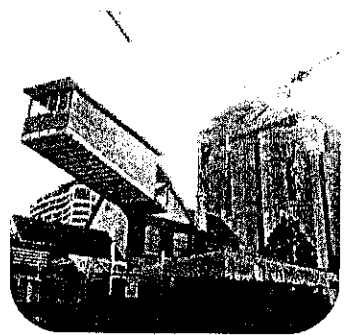
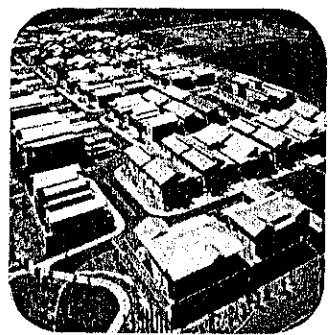
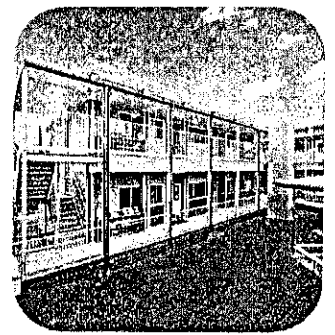
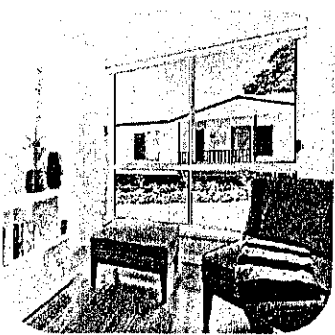
\$ _____ (_____)

less any amount or amounts it may previously have paid under this undertaking or such lesser sum as may be
required and specified by the principal and thereupon the liability of the financial institution hereunder will
immediately cease.

DATED at _____ this _____ day of _____ 20 _____



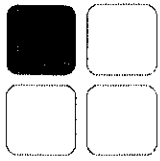
Cartman Design for the Shire of Dundas - Construction of Doctor's Residence
 101/103/104 Mildra Street, Norseman
 4th May 2016



THE RIGHT CHOICE FOR A SECURE LIFESTYLE

- RESIDENTIAL
- EDUCATION
- VILLAGES
- COMMERCIAL

Fleetwood



4 May 2016

Cartman Design
Suite 21-22
Esperance Business Centre
75 Dempster Street
ESPERANCE WA 6450
ATT: Tim Cartledge

Dear Tim,

Re: Shire of Dundas – Construction of Doctor's Residence at Lot 144 Mildra Street, Norseman.

Thank you for the opportunity to provide a proposal for the construction of the Doctor's residence in Norseman.

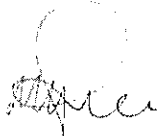
Fleetwood is a leading manufacturer and designer of modular building solutions with operations in Perth and Darwin, and is a wholly owned subsidiary of Fleetwood Corporation Ltd. Fleetwood's reputation is based on a long history of successful projects being delivered on time and on budget for our clients.

We are a company proud of its history and its experience. Our business ensures you have access to a team of qualified and experienced professionals, committed to our entrenched philosophy of Delivering the Promise.

This submission is to be read in conjunction with the Clarification Register which addresses any clarifications and provides transparency of our submission.

We are excited by the prospect of being involved in this project with Cartman Design and the Shire of Dundas and would welcome any opportunity to discuss the details of our submission with you.

Regards,



Nick Price
Business Development Representative – Residential

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1 00300 TENDER FORM

Please refer to **Attachment 1.**

2 CLARIFICATIONS

Please refer to **Attachment 2.**

3 ADDENDUMS

Confirmation of Addendum Numbers which have been received, read, understood and agreed to.

Addendum 1	X
Addendum 2	X
Addendum 3	X

4 CONSTRUCTION SCHEDULE

Please refer to **Attachment 4.**

5 SCOPE OF WORKS

Please refer to **Attachment 5.**

6 00300 TENDER FORM – ALTERNATIVE BID

Please refer to **Attachment 6.**

7 DESIGN – ALTERNATIVE BID

Please refer to **Attachment 7.**

8 FLEETWOOD STANDARD SPECIFICATIONS

Please refer to **Attachment 9.**

Attachment 1. 00300 Tender Form

DOCUMENT 00300 TENDER FORM

COMPLETE IN FULL AND LODGE WITH ARCHITECT

I/We **Fleetwood Pty Ltd** _____ (tenderer's name)

License no. _____ Registration no. **14096** _____

Of **1202 Abernethy Road, PERTH AIRPORT WA 6105** _____ (address)

Hereby tender(s) to perform the work for (proprietor name):

Tim Cartledge of Cartman Design

In accordance with the following documents and specifications:
(add extra pages if needed)

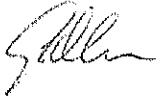
00300 Tender Form – Attachment 1
Clarifications – Attachment 2
Construction Schedule – Attachment 3
Scope of Works – Attachment 4

For the lump sum (including GST) of:

Six Hundred and Eighty Three Thousand, Six Hundred and Fifty One Dollars
\$683,651.00

Schedule of working days. The number of working days required from date of Letter of Acceptance to complete the work is **One hundred and twenty two** working days.

Signed by



p.p.

Brad Denison
Managing Director

Date this **Wednesday** (day) **May** (month) **2016** _____

COMPANY SEAL

Attachment 2. Clarifications

TENDER CLARIFICATION SCHEDULE

Tender	Cartman Design – Shire of Dundas Doctor's Residence	Round	1	Date	28/04/2016
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No	Classification	Tender Reference	Party	Date	Non-Conformance / Qualification / Response
1	C	Annexure to AS4000 Contract – Part A Item 12	Fleetwood	28/04/16	Provisional sum, percentage for profit and attendance. Fleetwood request profit and overhead recovery on costs to be 15%.
			Cartman Design		
2	C	AS4000-1997 Item 2 Interpretation & Construction of contract.	Fleetwood	28/04/16	Fleetwood request the following be added after the definition of 'Person': 'PPSA' means the Personal Property Securities Act 2009 (Cth); PPS Register means the Personal Property Securities Register established under the PPSA;"
			Cartman Design		
3	C	AS4000-1997 Item 5.6 Security	Fleetwood	28/04/16	Deed of guarantee, undertaking and substitution. Fleetwood assume this will not be required based on the value of the contract and by a public listed company. Fleetwood request that this clause be deleted.
			Cartman Design		
4	C	AS4000-1997 Item 16 Insurance of the works	Fleetwood	28/04/16	Insurance of the works. Fleetwood request where the paragraph starting with "Insurance shall be in the joint names of the parties..." Change wording to "Insurance shall list the Principal as an interested party..."
			Cartman Design		
5	C	AS4000-1997 Item 17 a). Public Liability Insurance	Fleetwood	28/04/16	"To be in the joint names of the parties" Fleetwood request change to "To list the Principal as an interested party"
			Cartman Design		
6	C	AS4000-1997 Item 19.3 Inspection and provisions of insurance policies.	Fleetwood	28/04/16	Notices from or to the insurer. Fleetwood request that this clause be deleted – Insurer will not agree to comply with giving notices to the Principal.

Classification Key: C = Commercial, T = Technical, S = Safety, P = Schedule, E = Environmental, Q = Quality, I = Industrial Relations, O = Other

No	Classification	Tender Reference	Party	Date	Non-Conformance / Qualification / Response
			Cartman Design		
7	C	AS4000-1997 Item 23	Fleetwood	28/04/16	Contractor's employees and subcontractors. Fleetwood request the following be added: "with reasonable justification and following consultation with the Contractor Representative" after "opinion" on line 3.
			Cartman Design		
8	C	AS4000-1997 New Items 44 and 45 PPSA and GST	Fleetwood	28/04/16	Fleetwood request that references to PPSA and GST to be included in the Contract – please refer overleaf.
			Cartman Design		
9	T	Design	Fleetwood	28/04/16	Fleetwood will complete all footing designs, engineering and drafting based on geotechnical information provided by the Client. All drawings shall be created from Client provided DWG templates.
			Cartman Design		
10	T	Site	Fleetwood	28/04/16	As detailed in the Fleetwood derived scope of works, Fleetwood will not be completing any of the earthworks or pad preparation at this point. Fleetwood can provide this service based on more information be made available. Fleetwood will require the earthworks to be completed in two stages to facilitate best practise in installing the building. These details have been provided in our Scope of Works submitted at tender.
			Cartman Design		
11	T	Power	Fleetwood	28/04/16	Fleetwood will complete the power installation from the Client nominated point to the NW of the block to the building, but will require a power dome to connect to. Fleetwood has only allowed to lay mains cabling to the main house, and have included a western power approved meter. The guest house will not have an individually metered connection, and will be connected to the main house switchboard.
			Cartman Design		
12	T	Sewer	Fleetwood	28/04/16	Fleetwood have included a number of options pertaining to the treatment of sewer. Fleetwood have not included for the possible connection of sewer to the main sewer line.
			Cartman Design		
13	T	Gas	Fleetwood	28/04/16	Fleetwood have not allowed for any gas reticulation or connection, as it is not required.
			Cartman Design		

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This document is part of the Fleetwood Pty Ltd Quality Management System

No	Classification	Tender Reference	Party	Date	Non-Conformance / Qualification / Response
14	T	Communications and Data	Fleetwood	28/04/16	Fleetwood have not included for any data or communications, however, this can be provided upon request by the Client.
			Cartman Design		
15	T	TV	Fleetwood	28/04/16	No allowance has been made for the supply of installation of a TV antenna.
			Cartman Design		
16	T	Existing Services	Fleetwood	28/04/16	Fleetwood have not allowed for the location of any existing services, or any restrictions when working around existing services, whether known, or unknown.
			Cartman Design		
17	T	Contaminated material	Fleetwood	28/04/16	Fleetwood have not allowed for the identification, removal, protection or disposal of any contaminated material. This includes any working restrictions as a result of contaminated materials.
			Cartman Design		
18	T	Site Works	Fleetwood	28/04/16	Fleetwood have not included for any head-works, fencing, gates, paths, steps, letter box, landscaping or upgrade of services.
			Cartman Design		
19	P	Schedule	Fleetwood	28/04/16	Fleetwood's price assumes all buildings will be installed at once and have included for efficiencies in doing so.
			Cartman Design		
20	O	Building Licence	Fleetwood	28/04/16	Fleetwood's have included for information pertaining to the building licence, but have not included for the statutory fees associated with the building licence, with the exception of the BCITF levy.
			Cartman Design		
21	T	Excess Material	Fleetwood	28/04/16	All excavated materials shall be stockpiled on site for reuse or disposal by others.
			Cartman Design		
22	T	Bonds	Fleetwood	28/04/16	Fleetwood have only allowed for the \$1,000 accommodation bond. Fleetwood have not allowed for any footpath bonds, or any other bonds which may be required to complete the works.
			Cartman Design		
23	T	Approvals	Fleetwood	28/04/16	Fleetwood have not allowed for development approvals or applications with the local council.
			Cartman Design		
24	T	Earthworks	Fleetwood	28/04/16	Fleetwood have not allowed for any earthworks. It is Fleetwoods understanding that the site will be built up by 500mm. Fleetwood have allowed to install the buildings 500mm below the design ground finish level, which will be provided by the Client.

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No	Classification	Tender Reference	Party	Date	Non-Conformance / Qualification / Response
			Cartman Design		
25	T	Testing	Fleetwood	28/04/16	Fleetwood have not allowed soils testing and have based the compaction on best practice. Should the testing on site differ the effort required to achieve compaction based on the tendered values, Fleetwood will provide a variation to alter the compaction.
			Cartman Design		
26	T	Rock / hard Digging	Fleetwood	28/04/16	Fleetwood have not allowed for excavation in rock or hard digging. Hard digging is deemed to be any excavated material that cannot be excavated at a rate of 10m3 per hour using an 8t excavator.
			Cartman Design		
27	T	Topsoil	Fleetwood	28/04/16	Fleetwood have not allowed for the stripping of topsoil.
			Cartman Design		
28	T	Site	Fleetwood	28/04/16	Fleetwood have provided this proposal based on the Client providing a prepared site compacted to 95% MMDD with a ground tolerance of ± 10 mm over a 3m distance. The site shall be free from obstructions with suitable access and working area for trucks and cranes. As detailed in the scope of works submitted with this tender, this particular work will be stage 1.
			Cartman Design		
29	T	Trenching Backfill	Fleetwood	28/04/16	Fleetwood have not allowed for importing bedding material for the trenches. This proposal is based on the trench being backfilled with the excavated material.
			Cartman Design		
30	T	Earthing	Fleetwood	28/04/16	Fleetwood has not allowed for any earthing requirements
			Cartman Design		
31	T	Temporary Fencing	Fleetwood	28/04/16	Fleetwood have not allowed for the installation of temporary fencing to the perimeter of the work site.
			Cartman Design		
32	T	Survey	Fleetwood	28/04/16	Fleetwood have not allowed for any survey over and above surveying the locations of the buildings.
			Cartman Design		
33	T	Tiedowns	Fleetwood	28/04/16	Fleetwood have allowed for tiedowns to each of the buildings.
			Cartman Design		
34	T	Foundations	Fleetwood	28/04/16	With the lack of geotechnical information during the tender period, we have been unable to determine the extent of the footings required, and as such have allowed for standard concrete donuts to act as the foundation. This is standard practice for Fleetwood.
			Cartman Design		

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No	Classification	Tender Reference	Party	Date	Non-Conformance / Qualification / Response
35	T	Certification	Fleetwood	28/04/16	Fleetwood have not allowed for the cost to obtain Certificate of Design Compliance and a Certificate of Construction Compliance.
			Cartman Design		
36	T	Building Services Levy	Fleetwood	28/04/16	Fleetwood have not allowed to pay for the Building Services Levy.
			Cartman Design		
37	T	Contract Stamp Duty	Fleetwood	28/04/16	Fleetwood has not allowed for any contract stamp duty.
			Cartman Design		
38	T	BAL Assessment	Fleetwood	28/04/16	Fleetwood have not allowed for a BAL Assessment or cost implications to the contract value post assessment.
			Cartman Design		
39	T	Water	Fleetwood	28/04/16	Fleetwood have allowed to connect to a metered water connection provided by the Client.
			Cartman Design		
40					
41					
42					

1. PPSA

- (a) The Principal acknowledges that supply of Works under this Agreement may give rise to a Security Interest in the Works.
- (b) The Contractor may register any Security Interest created under this Agreement on the PPS Register in any manner it chooses.
- (c) The Principal must, at its own cost, give the Contractor all information and assistance as is reasonably required to enable the Contractor to effect registration on the PPS Register of the Security Interest in the Works.
- (d) The Principal irrevocably and unconditionally waives its right to receive any verification statement in respect of any financing statements or financing changes statements or other notice from the Contractor in connection with the registration of a security interest
- (e) The Contractor shall deregister a security interest in a Works upon receiving full payment for the Works.

Classification Key: C = Commercial, T = Technical, S = Safety, P = Schedule, E = Environmental, Q = Quality, I = Industrial Relations, O = Other

- (f) The parties agree that for the purposes of section 115 of the PPSA, the following sections of the PPSA will not apply in relation to the Security Interest in the Equipment to the extent, if any, mentioned:
- (i) section 95 (notice of removal of collateral);
 - (ii) section 121(4) (notice of enforcement liquid assets);
 - (iii) section 125 (obligation to dispose of or retain collateral);
 - (iv) section 130 (notice of disposal of collateral);
 - (v) section 132(3)(d) (contents of statement of account after disposal);
 - (vi) section 132(4) (statement of account if no disposal);
 - (vii) section 135 (notice of retention);
 - (viii) section 142 (redemption of collateral); and
 - (ix) section 143 (reinstatement of security agreement).

2. GST AND PAYG

2.1 Definitions

- (a) Terms defined by the GST Law and PAYG Law and used (without separate definition) in this clause, shall have the meaning given to them by the GST Law or PAYG Law.
- (b) For the purposes of this clause:
"GST Law" has the meaning given to that term in A New Tax System (*Goods and Services Tax Act 1999*); and
"PAYG Law" means any Act dealing with or relating to the PAYG system referred to in Schedule 1 of the *Taxation Administration Act 1953*.

2.2 Payment of GST

Where a party is obliged to provide consideration to another party for a taxable supply made under or in connection with the Contract:

- (a) any amount which the Contract provides:
- (i) is to be the amount of the consideration;
 - (ii) is to (or may) be used to calculate the amount of the consideration (and the amount of the consideration so calculated); or
 - (iii) is included (provisionally or otherwise) in the consideration, shall be taken to include GST payable in connection with the taxable supply unless the amount is specifically stated to exclude GST;
- (b) where, despite paragraph (a) of this Clause 2.2, any consideration to be provided for a taxable supply is exclusive of GST, the party providing the consideration must also pay the GST payable in respect of the taxable supply, when the consideration is provided; and
- (c) no other provision of the Contract shall apply to give the Contractor any claim in connection with GST.

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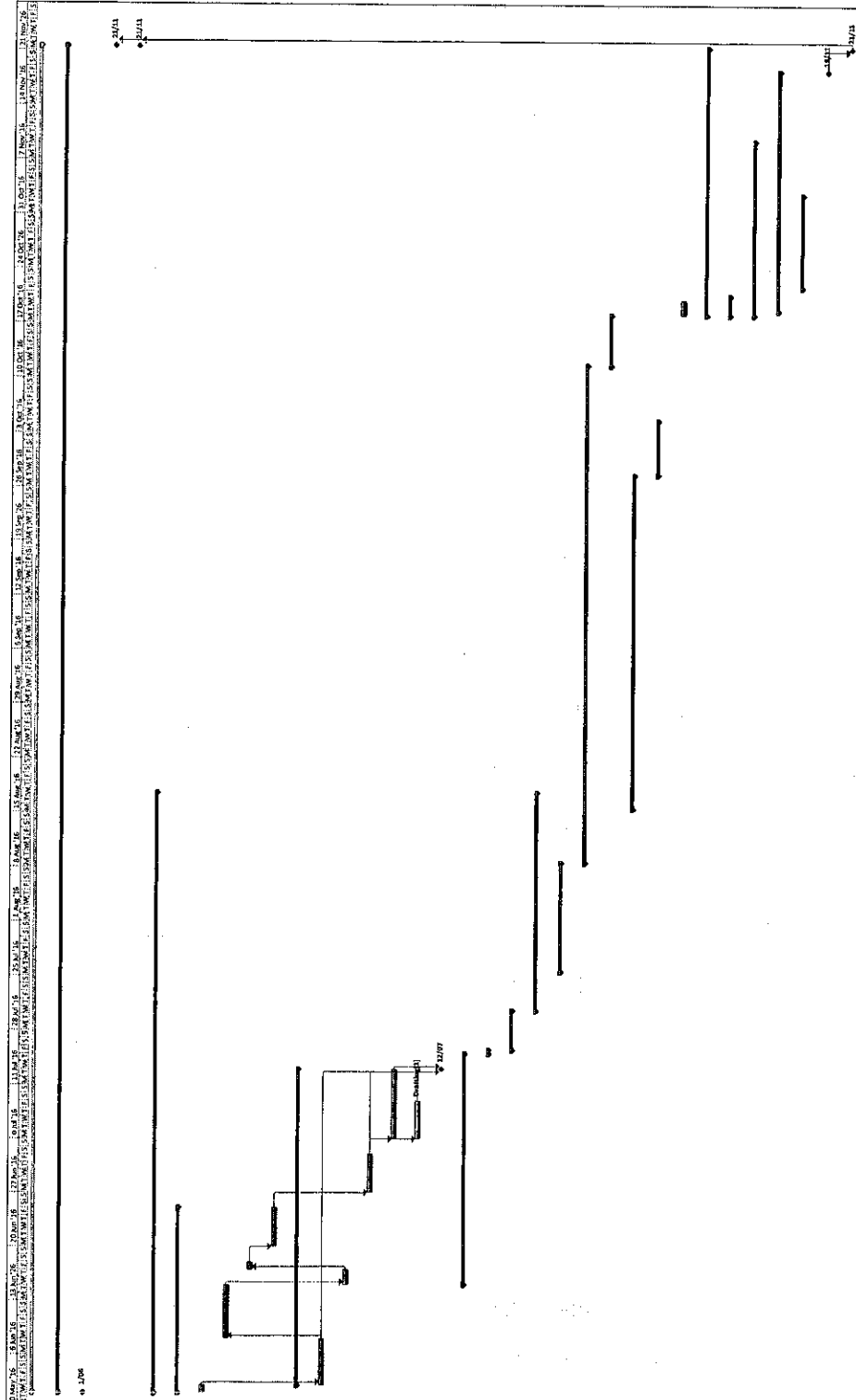
2.3 Liability Net of GST

Where under or in connection with the Contract a party is required to pay an amount which is (or is to be calculated by reference to) any cost, expense, loss or other liability suffered or incurred by another party that amount shall be (or be calculated by reference to) the cost, expense, loss or other liability net of any input tax credits available to the other party or the representative member of its GST Group.

2.4 Notification of GST Registration Status

- (a) The Contractor warrants to the Principal that:
 - (i) the Contractor is registered for GST; and
 - (ii) the Contractor's ABN stated in the Contract (or otherwise notified by the Contractor to the Principal) is correct.
- (b) The Contractor must notify the Principal immediately if it ceases to be registered for GST at any time.

Attachment 3. Construction Schedule



Job Name	Duration	Start	Finish
5001274 Skirt of Dundas Ductless Residence	12.5 days	Wed 1/06/11	Mon 2/1/11
Specs Draw & Events	12.5 days	Wed 1/06/11	Mon 2/1/11
Project Start Date	8 days	Wed 1/06/11	Wed 1/06/11
Project Finish Date	8 days	Mon 2/1/11	Mon 2/1/11
Project Finish Date as Tracked	0 days	Mon 2/1/11	Mon 2/1/11
Administration	54.5 days	Wed 1/06/11	Wed 1/06/11
Sales Department	17 days	Wed 1/06/11	Wed 1/06/11
Obtain Job Number, Create RFP and forward to Drafting	1 day	Wed 1/06/11	Wed 1/06/11
Contract Admin To Complete Vendors, Address and Mark Up Drawings	5 days	Wed 1/06/11	Tue 1/06/11
Submit Variation to Client (if Req'd)	1 day	Fri 17/06/11	Fri 17/06/11
Check to approve Working Drawings, Address and variations	5 days	Mon 20/06/11	Fri 24/06/11
Building Department	24 days	Thu 23/06/11	Tue 27/07/11
Start Working Drawings (Per Pen, Extension and Electrical Layouts)	3 days	Thu 23/06/11	Tue 27/07/11
Start Vapors (RFP)	1 day	Wed 23/06/11	Thu 23/06/11
Start Construction Drawings	5 days	Mon 27/06/11	Fri 1/07/11
Submit Construction Drawings For Engineer Approval	7 days	Mon 27/06/11	Tue 12/07/11
Submit Drawings for Energy Efficiency Approval	5 days	Mon 27/06/11	Fri 8/07/11
Estimating Department	22 days	Wed 23/06/11	Thu 27/07/11
Registered Buyer	4.5 days	Fri 15/07/11	Wed 20/07/11
Purchasing Department	20 days	Wed 20/07/11	Wed 27/08/11
Receive's Department	18 days	Mon 25/07/11	Mon 8/08/11
Manufacturing Department (D-Site)	45 days	Mon 25/07/11	Tue 12/09/11
Construction Office - Main Residence (3 Floor)	4.5 days	Tue 21/08/11	Mon 27/08/11
Final Inspection & Signoff	30 days	Mon 25/08/11	Tue 27/09/11
Construction Office - Guest Residence (2 Floor)	5 days	Tue 27/08/11	Tue 4/09/11
Final Inspection & Signoff	24.5 days	Mon 27/08/11	Mon 21/09/11
Split and Trip Main Residence - Transport of Floor by Truckwood (on Contract)	2.5 days	Tue 28/08/11	Thu 01/09/11
Onsite Installation	34.5 days	Mon 27/08/11	Wed 01/10/11
Mobilization	28 days	Tue 28/08/11	Fri 02/09/11
Onk Works - By Client	8 days	Fri 02/09/11	Wed 07/09/11
Building Installation	0 days	Fri 02/09/11	Fri 02/09/11
Services Installation	0 days	Fri 02/09/11	Fri 02/09/11
Final Inspection and Handover	0 days	Mon 21/09/11	Mon 21/09/11
Demobilization	0 days	Mon 21/09/11	Mon 21/09/11

Attachment 4. Scope of Works

Contents

1	Project Overview.....	3
1.1.	Location of Work.....	3
1.2.	Site Access.....	3
2	Design	3
3	Approvals, applications and certificates	4
4	Building Construction.....	4
5	Building Installation.....	5
5.1.	Site Development	5
5.2.	Building Installation.....	5
6	Handover.....	6
7	Design	6

Fleetwood

1 PROJECT OVERVIEW

1.1. Location of Work

Located on the corner of Ramsay Street and Mildura Street, Fleetwood will construct a 4 Bedroom house and granny flat complete with infrastructure. The Architect proposed house and alternative proposal by Fleetwood will be positioned on the site to maximise the use of the block whilst accommodating the privacy between the main dwelling and the guest house. The below figure shows how the house will be positioned on the block using the Clients design.

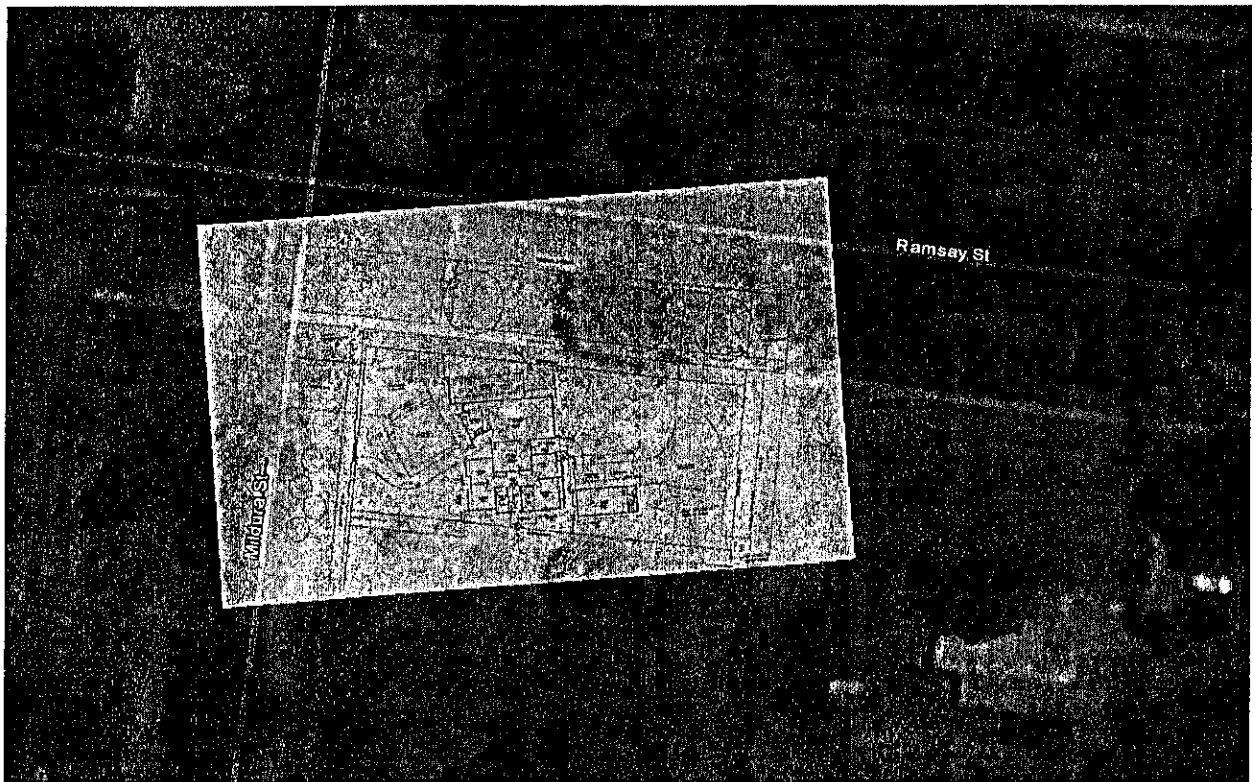


Figure 1

1.2. Site Access

All access and egress to the site will be from predetermined access points off of Ramsay and Mildura Street. All building access will be restricted to access off of Ramsay Street.

2 DESIGN

Clients Design

Fleetwood will provide the following deliverables as part of the design process for the Client provided design.

- Building engineering and drafting based on the information received during the tender process,

Fleetwood

- Foundation design, engineering and drafting based on the Clients building design, including the site geotechnical assessment and soil testing results provided by the Client,
- Services design and drafting for all internal and external services.

Fleetwood Design

- Building engineering and drafting based on the information received during the tender process,
- Foundation design, engineering and drafting based on the Clients building design, including the site geotechnical assessment and soil testing results provided by the Client,
- Civil engineering, including civil drawings to determine the site requirements for the installation of the building, as completed by the Client,
- Structural drawings showing the layout of the building on the block,
- Services design and drafting for all internal and external services,

3 APPROVALS, APPLICATIONS AND CERTIFICATES

Detailed below are the applications, approvals and certifications that Fleetwood will be completing, including items that will need to be completed by the Client.

Fleetwood will complete the following;

- Details for the Building Permit,
- Details for the Certificate of Design Compliance,
- Details for the Certificate of Construction Compliance,
- Energy Efficiency Report,
- Certificate of Building Compliance for the Certificate of Occupancy.

The Client must provide the following prior to mobilisation to site.

- Development Approval,
- Compaction certification of the prepared site,
- Services connection applications and approvals,
- Site Civil design (For the Clients design only).

4 BUILDING CONSTRUCTION

At any time during the fabrication period, Fleetwood will nominate construction inspection times which the Client may wish to inspect the progress of the build. All other inspections will be completed on site by the Client, and the relevant Authorities as part of the Building Permit.

5 BUILDING INSTALLATION

5.1. Site Development

Fleetwood anticipate the Client completing the site development in the following two stages to minimise the cost of earthworks.

STAGE 1

The Client completes the initial site development to -500mm of the intended finished ground level for Fleetwood to install the buildings without the need to excavate the building footprints.

STAGE 2

Once the buildings and external infrastructure of the development has been complete (excluding the paving), the Client completes the earthworks to the site leaving the paved areas 50mm lower than the finished design levels.

By completing the works in this manner, additional mobilisation of plant to excavate the building foundations will not be required. By building up the site around the building, the building will not require additional skirtings around the perimeter of the building to inhibit vermin access. Based on previous experience with buildings of this nature, the building footprint subgrade material must be of a free draining material which will provide a geotechnical site classification of Class A.

Backfill around the building after the buildings will be completed by the Client.

5.2. Building Installation

Fleetwood will complete the following activities as part of the building installation.

1. Survey the building locations (benchmark provided by the Client),
2. Test the building foundation subgrade,
3. Supply and installation of building footings,
4. Transportation of the building from the Fleetwood manufacturing premises to their intended location on the block,
5. Jack the buildings into position,
6. Interconnection of the building services between the floors,
7. External complexing / joining detail between modules
8. Install downpipes and gutters to the building, including 3 rainwater tanks,
9. Install, test and commission the air conditioning units (if confirmed in the contract),
10. Install all external services to the building, including the installation of the sewer treatment unit,
11. Construction of the external carports and verandahs,
12. Construction of all the driveways, crossovers and verandah paving,
13. Test and commission all services in the building,

14. Provide test and trade certification to the relevant statutory authority to certify the works have been installed correctly,
15. Close out the building permit with the local council.

The following is to be completed by the Client.

1. Any geotechnical information required to complete a footing design,
2. Suitable access to the site starting from the curb side,
3. A nominated location for the placement of the building, including native format files showing these locations,
4. A site compacted to 95%,
5. Construction facilities and services such as power, water,
6. A metered power connection for Fleetwood to connect to,
7. A metered water connection for Fleetwood to connect to.

6 HANDOVER

24 hours prior to the completion of the building, Fleetwood will notify the Client of the intended final inspection and handover of the building.

7 DESIGN

Fleetwood will make available to the Client any, or all design documentation to satisfy any development approval or regulatory/statutory obligations that the Client may have after the award of the contract to Fleetwood.

Attachment 5. 00300 Tender Form – Alternative
Bid

DOCUMENT 00300 TENDER FORM – ALTERNATIVE BID

COMPLETE IN FULL AND LODGE WITH ARCHITECT

I/We **Fleetwood Pty Ltd** _____ (tenderer's name)

License no. _____ Registration no. **14096** _____

Of **1202 Abernethy Road, PERTH AIRPORT WA 6105** _____ (address)

Hereby tender(s) to perform the work for (proprietor name):

Tim Cartledge of Cartman Design

In accordance with the following documents and specifications:
(add extra pages if needed)

00300 Tender Form Alternative Bid – Attachment 5
Design Alternative Bib – Attachment 6
Fleetwood Standard Specifications – Attachment 11

For the lump sum (including GST) of:

Four Hundred and Ninety Eight Thousand, Four Hundred and Sixty Five Dollars

\$498,465.00

Schedule of working days. The number of working days required from date of Letter of Acceptance to complete the work is **One hundred and twenty two** working days.

Signed by

p.p.

Brad Denison

Managing Director

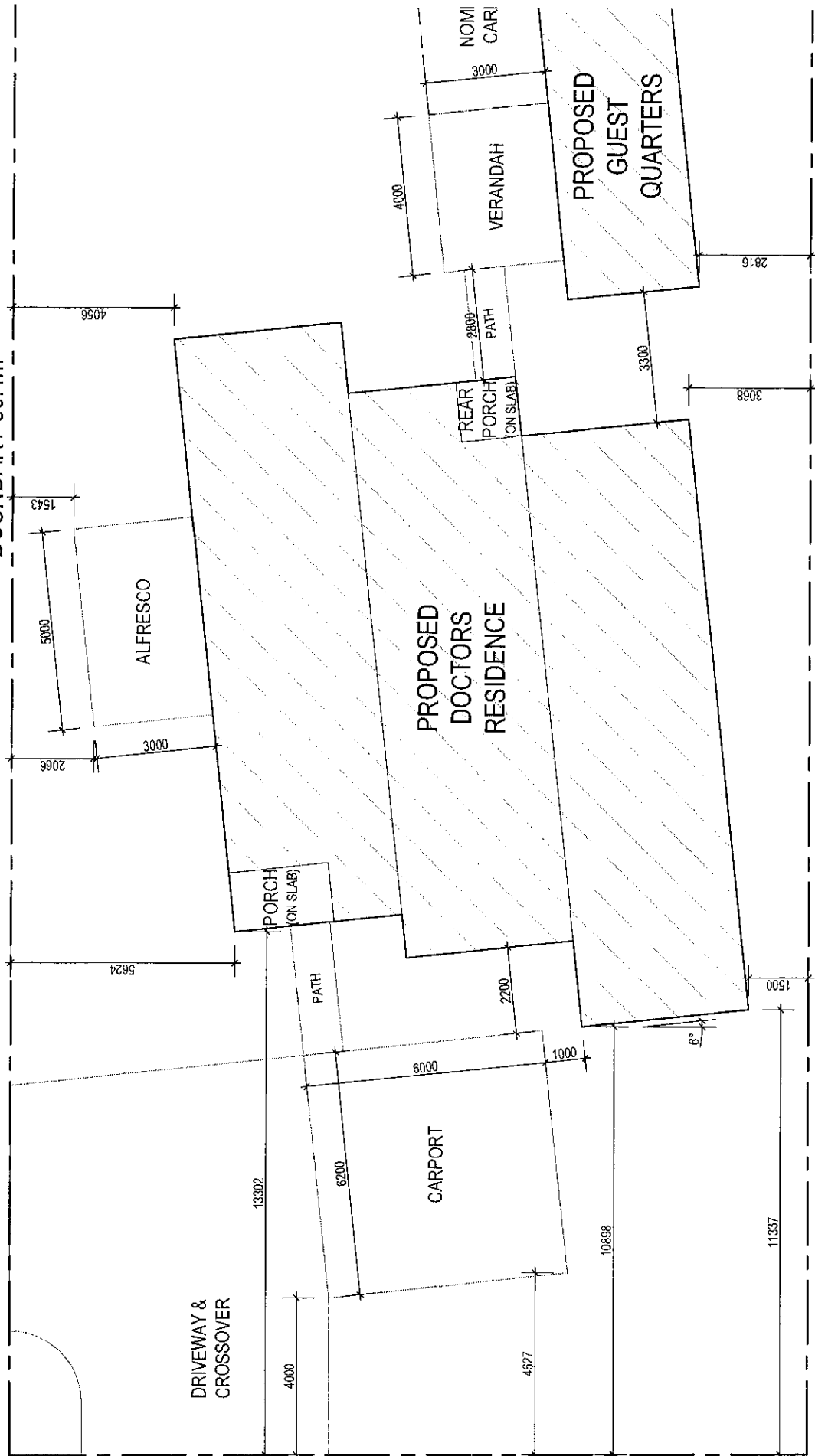
Date this **Wednesday** (day) **May** (month) **2016** _____

COMPANY SEAL

Attachment 6. Design – Alternative Bid

RAMSAY STREET

BOUNDARY 50.4m

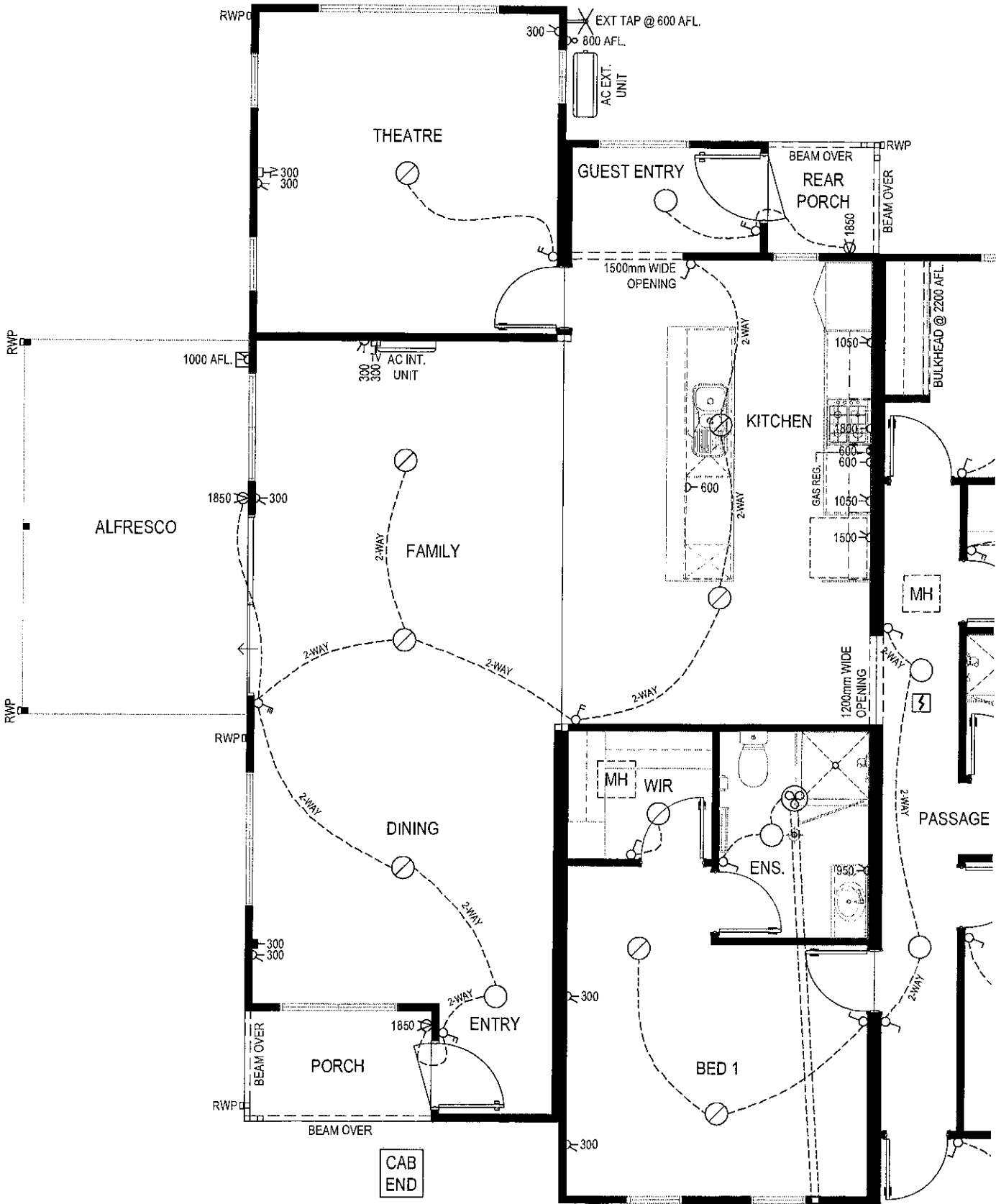


BOUNDARY 20.0m

MILDURA STREET

BOUNDARY 50.4m





SERVICES PLAN

SCALE 1:50

NOTE: ENSURE THAT THE ELECTRICIAN AND PLUMBER CDNNNECT ALL SERVICES ABOVE THE SLAB SPLIT LINES, THROUGH THE MAN HDLES AS SHOWN ON THE PLAN.

NOTE: ALL PIPE PENETRATIONS THROUGH FLOOR TO BE SEAI ED AND PIPE WORK TO RUN TO OUTSIDE OF RING BEAM

BUILDING DESIGN CRITERIA Wind Load - in accordance with AS1170.2-2011

REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2:
Vu = V500 = 45m/s
Ms = 1.0
MI = 1.0
Mzcat = 0.91
V Serviceability = 37m/s

DESIGN CRITERIA IN ACCORDANCE WITH AS1170.1-2002:

Imposed Floor Actions (Table 3.1)
Allowable Floor Loads:
1.5kPa Uniformly distributed.
1.8kN Concentrated load.
1.5kPa Uniformly distributed.
1.5kN/m Run along edge.
Allowable Balcony Loads:
(LESS THAN 1m ABOVE GROUND LEVEL)

DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4-2007:

Probability P = 1/500 (Table 3.1)
Kp = 1.0 (Table 3.1)
Site hazard factor Z allowed = 0.09 (Figure 3.2(C))
Earthquake design category = EOC 1 as per Table 2.1

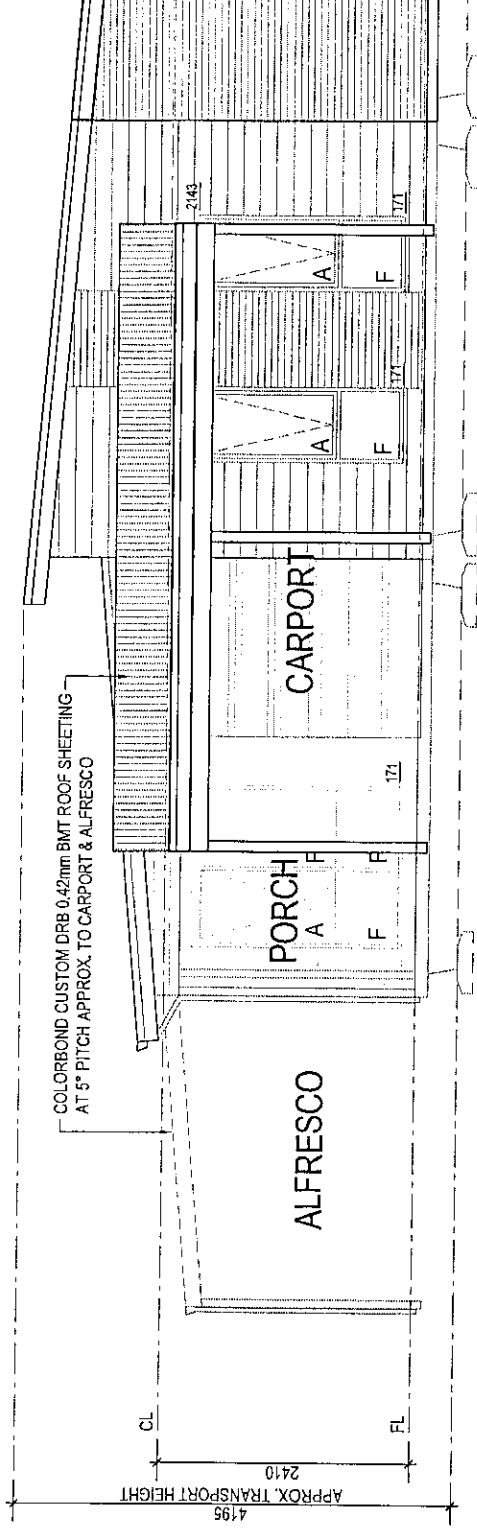
REGION A WINDOWS DESIGN CRITERIA TO AS 2047:

- For residential and commercial buildings (Clause 2.3.2):
1. Serviceability pressure:
General - 485Pa, over 300 to 600mm from corner - 725Pa, up to 600mm from corner - 970Pa
 2. Ultimate strength pressure:
General - 710Pa, over 300 to 600mm from corner - 1055Pa, up to 600mm from corner - 1415Pa
 3. Water penetration resistance pressure:
Non-Exposed - 150Pa, Exposed - 200Pa

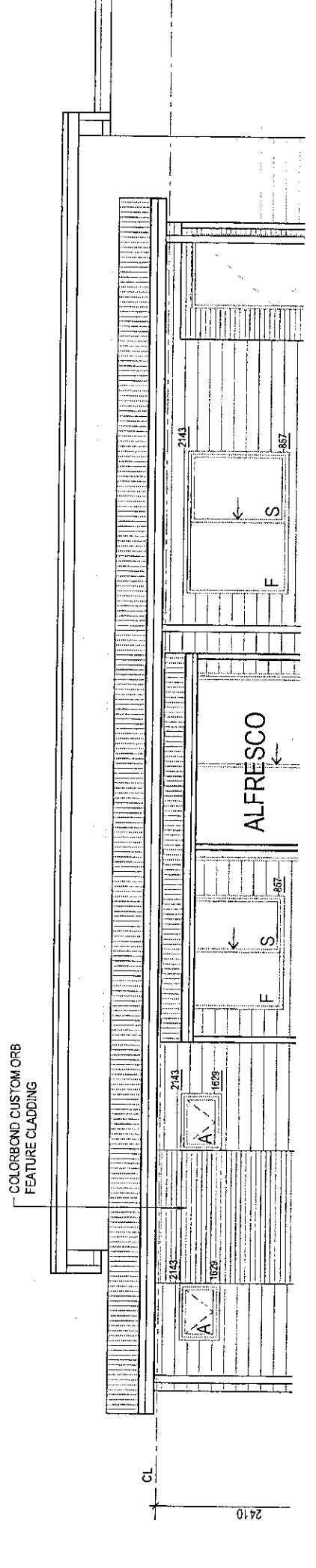
THE ENTIRE ROOF AND WALL ASSEMBLIES, THEIR CONNECTIONS & IMMEDIATE SUPPORTING MEMBERS HAVE BEEN DESIGNED SO AS TO BE CAPABLE OF REMAINING IN POSITION NOTWITHSTANDING ANY PERMANENT DISTORTION, FRACTURE OR DAMAGE THAT MIGHT OCCUR IN ACCORDANCE WITH NCC VOLUME 1, SPECIFICATION B1.2 OR VOLUME 2, PART 2.1.1 (b) AND 3.10.1 HIGH WIND AREAS (IF APPLICABLE)

ALL REFERENCED STANDARDS TO BE THE CURRENT VERSION AT THE TIME OF CONSTRUCTION

Built To: NCC CLASS 1a BUILDING
CLIMATE ZONE 4



1 ELEVATION
SCALE 1:50



BUILDING DESIGN CRITERIA Wind Load - in accordance with AS1170.2:2011

REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2:

Vu = V300 = 45m/s
Ms = 1.0
MI = 1.0
V Serviceability = 37m/s

Mzcat = 0.91

DESIGN CRITERIA IN ACCORDANCE WITH AS1170.1:2002:

Imposed Floor Actions (Table 3.1)

1.5kPa Uniformly distributed.

1.8kPa Concentrated load.

Allowable Floor Loads:

1.5kPa Uniformly distributed.

1.5kN/m Run along edge.

(LESS THAN 1m ABOVE GROUND LEVEL)

DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4:2007:

Probability P = 1/5000 (Table 3.1)

Kp = 1.0 (Table 3.1)

Site hazard factor Z allowed = 0.09 (Figure 3.2/C)

Earthquake design category = EDC1 as per Table 2.1

REGION A WINDOWS DESIGN CRITERIA TO AS 2047:

For residential and commercial buildings (Clause 2.3.2):

1. Serviceability pressure:

General - 48SPa, over 300 to 600mm from corner - 72SPa, up to

600mm from corner - 970Pa

2. Ultimate strength pressure:

General - 710Pa, over 300 to 600mm from corner - 1065Pa, up to

600mm from corner - 1415Pa

3. Water penetration resistance pressure:

Non-Exposed - 150Pa, Exposed - 200Pa

THE ENTIRE ROOF AND WALL ASSEMBLIES, THEIR CONNECTIONS &

IMMEDIATE SUPPORTING MEMBERS HAVE BEEN DESIGNED SO AS TO

BE CAPABLE OF REMAINING IN POSITION NOTWITHSTANDING ANY

PERMANENT DISTORTION, FRACTURE OR DAMAGE THAT MIGHT

OCCUR IN ACCORDANCE WITH NCC VOLUME 1, SPECIFICATION B1.2

OR VOLUME 2, PART 2.1 (b) AND 3.10.1 HIGH WIND AREAS (IF

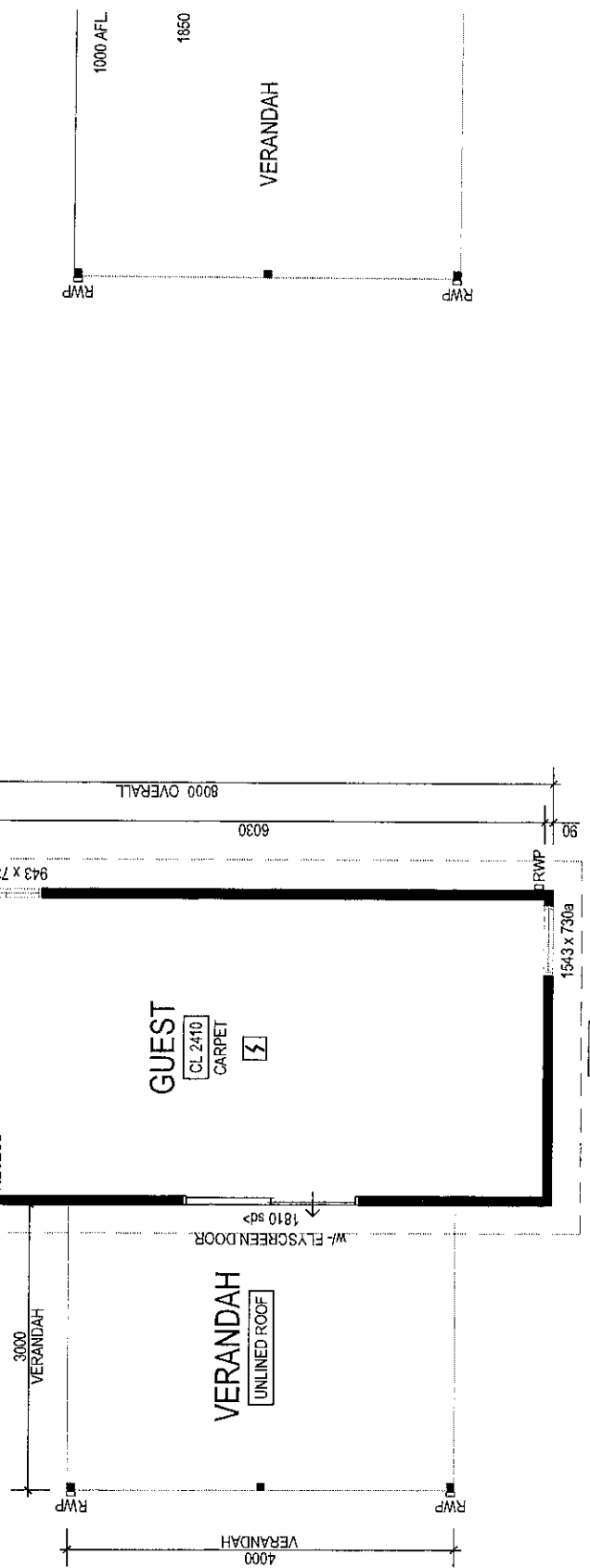
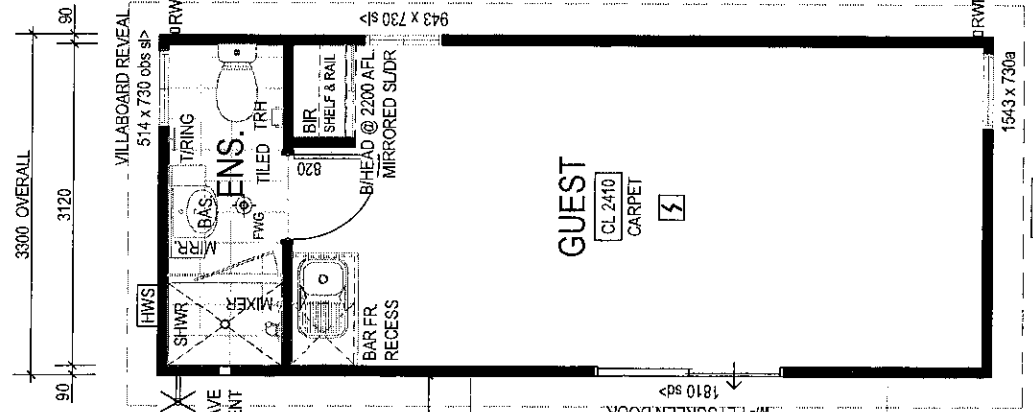
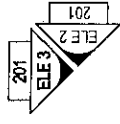
APPLICABLE)

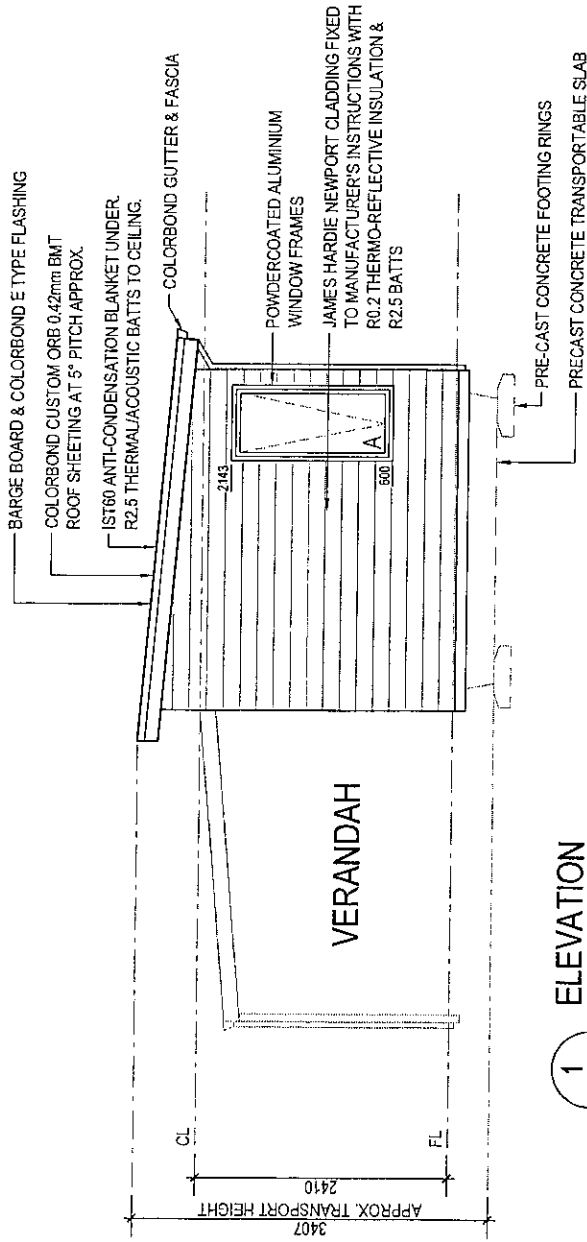
ALL REFERENCED STANDARDS TO BE THE CURRENT VERSION

AT THE TIME OF CONSTRUCTION

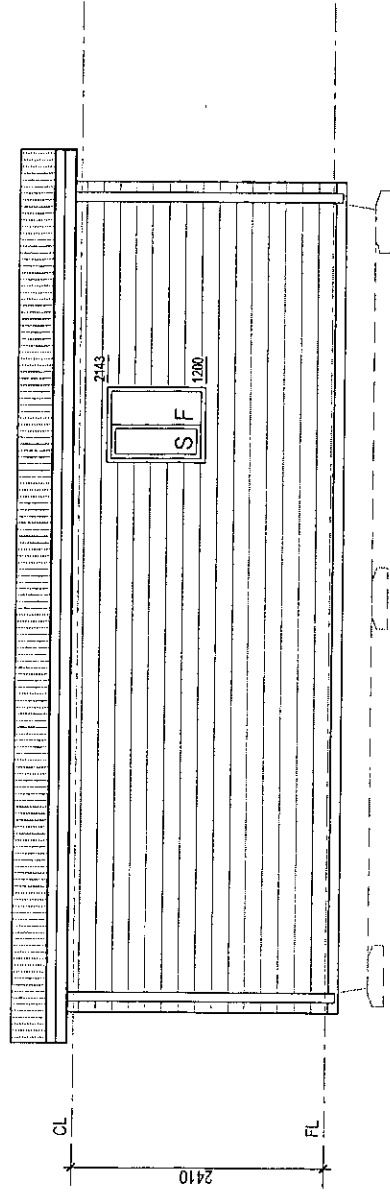
Built To: NCC CLASS 1a BUILDING

CLIMATE ZONE 4

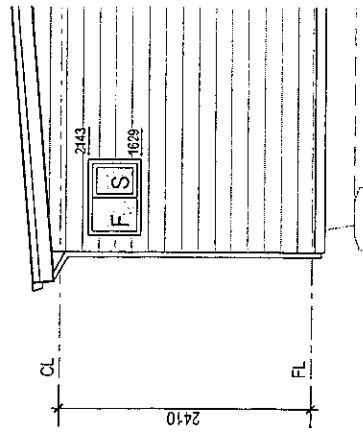




1 ELEVATION
SCALE 1:50
101



2 ELEVATION
SCALE 1:50
101



3 ELEVATION
SCALE 1:50
101

Attachment 7. Fleetwood Standard
Specifications

Building Specifications – STANDARD

Transportables, Cabins & Park Homes - REGION A

Construction

- 6 year structural guarantee
- 6 month maintenance period
- Anti-termite treatment to all internal slab joins (if applicable)
- Engineer approved reinforced concrete slab or Steel Chassis
- Corrugated roof sheets - colour selections from the Colorbond colour range
- Colorbond gutters, fascia & downpipes from Builder's standard range
- R2.5 Insulation Thermal/Acoustic Polyester batts to ceiling
- R2.5 glass wool insulation batts & 6.5mm E-Therm to external walls
- Anti-condensation blanket & foil to roof
- 90mm Galvanised steel stud frame
- 10mm Plasterboard walls & ceilings w/75mm cove cornice
- Ceiling heights 2410mm, 2710mm or Raked as denoted on Floor Plan
- Lined Eaves w/ 4.5mm Fibre cement board
- PVC & Copper water pipe used for water supply throughout
- Electrical supply - 240 volt single phase domestic distribution board with safety switch to Australian Standards
- Hard wired Smoke detectors (as per final plans)
- 1 x TV Point with draw wire only (Antenna not included)
- 1 x Phone Point
- NBN Ready conduits - (by request only)
- Light point and double GPO's to each room
- White melamine shelf to robes with chrome hanging rod
- Sliding doors to Robes
- Instantaneous Gas Hot water system (Includes Gas Hood and Regulator kit) - excludes bottles (by others)
- Garden taps x 2
- Powder coated aluminium windows with minimum 4mm glazing
- Fly screens to all windows
- Powder coated aluminium sliding doors with key lockable handle & sliding flyscreen doors
- Hume Vauclose solid core designer entrance doors w/ Timber entry door frame
- Hume Flush panel doors throughout internally
- Lockwood Tri-lock Entrance set handles - builders standard range
- Lockwood selection of Lever handles to internal doors from Builders standard range (privacy locks to all Ensuite, Bathroom and Toilets included)
- External Cladding from builders standard range - James Hardie Newport OR Colorbond Corrugated profile
- Exterior painting- 1 coat sealer, 2 Coats Solver Duraguard
- Skirting - 67mm x 18mm splayed profile MDF
- Vertical or venetian blinds included from builders standard range. (Excluding wet areas.)
- 400mm x 400mm Ceramic tiles OR Smart Drop vinyl floor planks to main living areas from builders standard range.
- Carpets to Bedrooms with quality underlay (Also included in Theatre and Study where applicable)
- Standard range 300mm x 300mm Non-Slip Tiles or Decking to Alfresco/Verandah & Porch areas (if applicable)
- Interior painting- 1 coat sealer, 2 coats Solver Maxi wash flat to Walls. Gloss to doors, door frames, skirting & architraves, half wall cappings (if applicable). Ceilings and cornice in Solver flat white.
- 1 x Split system Air-Conditioner to main living area - Builders standard range
- Lighting throughout home w/Oyster lights internally, Bunker light to external doors and Feature light to front elevation

Kitchen

- Polyrey Polyform 38mm square style laminated benchtops
- Polyrey colour panel with abs edge to Cabinets from builders standard range.
- Soft closing mechanism to all drawers and cupboards
- Cupboard handles from builders standard range
- Kitchen sink - 1 & 3/4 sink, one tap hole - Stainless Steel (right or left hand bowl)
- Chrome Flick Mixer Tap
- Dishwasher Recess w/power point and cold water connection only (unless otherwise specified)
- Stainless Steel Electric Oven - 600 wide
- Stainless Steel Electric Cooktop - 600 wide
- Stainless Steel Rangehood - 600 wide
- 3 rows 400 x 200 ceramic tiles from Builders std range. (allowance of \$40 / m2 retail including GST)
- 4 White melamine shelves with painted timber rail to Pantry

Ensuite / Bathroom / WC

- Polyrey Polyform 38mm square style laminated benchtops
- Polyrey colour panel with abs edge to Cabinets from builders standard range.
- Ceramic white recessed or semi-recessed basins (Refer to plan)
- Acrylic recessed white bath to bathroom (if applicable)
- Ceramic Toilet (Type may change at builders discretion)
- 600mm double towel rail. Single toilet roll holder. Available in chrome only.
- Clear glazed framed shower screens with pivot door
- Chrome Mixer Taps (option of Tap set available)
- Framed mirror to width of the vanity
- 2m high tiling to shower recess + floor & skirting tiles + bath surround (if applicable)
- Hand held Shower Rose to Ensuite & Bathroom
- Wall tiling allowance of \$40 / m2 retail including GST (200 x 400mm ceramic tiles)
- Floor tiling allowance of \$40 / m2 retail including GST (300 x 300mm ceramic cusion edge tiles)
- Flumed exhaust fans

Laundry

- 45L Stainless Steel trough with sudsaver and white metal cabinet .
- Automatic washing machine taps
- 2 x rows of tiling above trough \$40 / m2 retail including GST (200 x 400mm ceramic tiles)
- Floor tiling allowance of \$40 / m2 retail including GST (300 x 300mm ceramic cusion edge tiles)

Contract

- HIA lump sum fixed price building contract
- Indemnity insurance
- Public liability, contract works and workers compensation insurance
- Housing Industry Association and Master Builders Association members

****Note: All Specifications listed are for non-cyclonic regions & non-coastal conditions. Cyclonic Regions & Coastal Conditions are design specific and priced accordingly.***

REGISTERED BUILDER NUMBER

Wayne (DUC) Rodgers

ABN 69 64112306

44 Twilight Beach Road Esperance WA 6450

phone 08 90720043

CY PO Box 2282 Esperance WA 6450

mobile 0427720093

email backusrodgers@west.net.au

Ref CE 14709118

Attention Tim Cartledge

Cartman Designs

PO Box 1898

Esperance WA 6450

Dear Tim,

Please find attached attached Document 00300 Tender Form for The New Doctors House for the Dundas Shire on Lot 144 Mildura Street Norseman.

My tender recognizes that the Dundas Shire is responsible for earthworks & To supply a compacted level clean site to build on.

I have included in my price the cost to use a surveyor to set out the buildings etc.

The tender documents allow for a timber framed building subject to satisfactory termite treatments so that is what I intend to build with.

I have allowed for 163 sq metres of tiling & 76 sq metres of carpet plus PC items for Carpets \$7600.00 & Tiles \$8150.00.

I have included the \$20000.00 PC item & the light fittings allocation of \$7500.00

Please turn over

Continued

I note in the tender that the cupboard tops are stone & have allowed for them.

With regards to the Plumbing section I have allowed for a solar hot water system. I note that the septic system may need options but my price includes a septic system consisting of 2 x standard septic tanks with 2 x 12 metre atlantis leach drains , 300 mm aggregate either side with divertor. If required by the Shire of Dundas, an extra tank , pump & level alarm system which will allow for The leach drains to be raised, the extra cost will be \$4500.00 inc GST.

A biocycle system can be installed that uses sub soil irrigation at a cost of \$17000.00 inc GST but will need servicing once a year from a service agent in Kalgoorlie.

With regard to the fixture & fittings for plumbing I have used those pictured in the specification document as price examples.

With regard to Reverse Cycle Air Conditioning I have allowed for six separate units to accommodate the identified areas to be covered.

I acknowledge the three addendums sent.

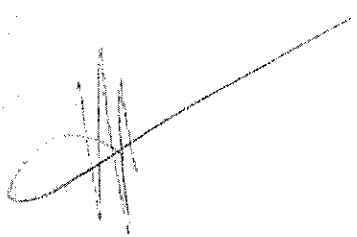
If there is any more documents or information required to assist this tender can you please advise.

Hoping for a favourable reply

Yours sincerely

Wayne J Rodgers

1st May 2016

A handwritten signature in black ink, appearing to read 'Wayne J Rodgers', is written over a faint, light-colored signature line.

COMPLETE IN FULL AND LODGE WITH ARCHITECT

I/We Sime Building Co Pty Ltd (tenderer's name)

Licence no. _____ Registration no. Builder's Registration # 10158

of 52 The Esplanade, Esperance WA 6450 (address)

(P O Box 1870, Esperance WA 6450)

hereby tender(s) to perform the work for (proprietor name):

Shire of Dundas

in accordance with the following documents and specifications:

(add extra pages if needed)

Plans: YOURKINDA.0022.00 rev0, 0022.01rev1, 0022.02 rev0, 0022.03 rev0, 0022.04 rev1
0022.05 rev0, 0022.06 rev0, 0022.07 rev0, 0022.08 rev0, 0022.09 rev1, 0022.10 rev0
S0, S1, S2

Specifications: Dundas Drs Res Approved Issued 030316

Energy Report: Frater Consulting Services Deemed to Satisfy Report 17/12/2015 Version 0
Addendums 1, 2 & 3

For the lump sum (including GST) of:

Seven Hundred and Twenty Two Thousand Seven Hundred Dollars \$ 722,700.00

Schedule of working days. The number of working days required from date of Letter of Acceptance to complete the work is

180 working days from possession of site after completion

of earthworks.

Signed by David Sime  (Company Directors)

Date this 4th (day) May (month) 20 16

COMPANY SEAL



**CONSTRUCTION OF DOCTOR'S RESIDENCE
LOT 144 MILDURA STREET, NORSEMAN WA
FOR THE SHIRE OF DUNDAS**

TENDER CLARIFICATION

Items not included or allowed for in this submission:

1. Any demolition or removal of trees
2. Any earthworks including clearing, fill or compaction. Site to be ready to build on
3. Any fencing or gates
4. Any Shire building fees
5. Telstra connection - including fees
6. Letterbox
7. Air conditioners, septic tanks and leach drains or Biolytix waste water retic system – see separate pricing below

Separate pricing as requested in Specification Document 00900 – Addenda & Modifications:

1. Air conditioners – Daikin wall mounted split systems: \$19,400 + GST
 - Bedrooms – 4 x 2.5 Kw units
 - Living / Family – 1 x 9.4 Kw unit
 - Guest – 1 x 3.5 Kw unit
2. Septic System: \$13,800 + GST
 - Standard 2 tank and 2 leach drain system allowed for
 - To raise and relocate leach drains – involving extra tank, pump etc – additional \$6,000 + GST
3. Biocycle waste water retic system: \$18,170 + GST
 - Alternative system priced as specified Biolytix system no longer available



10.1.2

Development of an Arboretum

Hii Jacquie

I've attached our list of suggested trees and shrubs for Norseman. Apologies for being slow with it (has just been a very busy week with training). It draws from what Ngadju Rangers have found in surveys of street trees around town and also from Kalgoorlie-Boulder Urban Bushland Group's stock list (after Jon Fry's referral), and the book "Native Plant Guide – Kalkurla Bushland Park & the Goldfields". I've also drawn on knowledge of people well versed in Goldfields eucalypts and growing native plants like Goldfields Institute of Technology horticulture lecturer David Strickland and Gondwana Link CEO Keith Bradby, used the FloraBase website and all the books I could get my hands on.

Although we used KBUBG's stocklist, there are species included that aren't on their list as this was more of an "aspirational" list and I'd expect that there would be a few things listed that are very hard to get. But Kim Eckert from KBUBG said to let her know of any requests of local species and she'd check availability even if they haven't grown them for a while.

We're treating this list as a first draft as we'd like to add more species and more info in time, but we'll stay in touch anyway. I'm keen to talk to you more about things like name plaques on some trees in key areas, including Ngadju names where we can find them, and even an idea about having a special park or arboretum area close to the town centre that features all of Norseman's street trees as well as Dundas Shire native trees with names & info as a bit of a tourist attraction. I'm sure the Rangers could contribute.

Cheers

Mike

Mike Griffiths

Great Western Woodlands Operations Manager

Gondwana Link Ltd

mgriffiths@gondwanalink.org

www.gondwanalink.org

M: 0428 530 989

Ngadju Ranger Program

PO Box 73, Norseman WA 6443

Suitability to power-lines	Species Name (Red text denotes species considered particularly appropriate for planting in Norseman)	Common Name	Naturally occurring in Shire of Dundas	Naturally occurring in Goldfields-Esperance region	Special Features, Comments
TREES					
	<i>Eucalyptus campaspe</i>	Silver Gimlet	Y		Widely planted around Norseman's streets. Very attractive coppery trunk and silver foliage. This is one of the Goldfields most attractive eucalypts.
	<i>Eucalyptus dundasii</i>	Dundas Blackbutt	Y		A tall tree with fine grey bark. Grows naturally in low-lying areas near salt lakes, also in other situations. Note: although not widely recognised for its ornamental value this tree naturally occurs mainly in the Dundas Shire and could easily feature in plantings around town. It is recommended as an excellent shade tree and street tree (GM Chippendale, Eucalypts of the WA Goldfields and Adjacent Wheatbelt)
Y	<i>Eucalyptus forrestiana</i>	Fuchsia gum		Y	Small tree with distinctive red buds and red and yellow flowers. Suitable for screening due to bushy habit. Occurs on sandy soils south and south-west of Salmon Gums (including Esperance sandplains), sometimes near salt lakes.
	<i>Eucalyptus georgei</i>		Y		Medium slender tree with attractive ribbon bark and whitish trunks
Y	<i>Eucalyptus grossa</i>	Coarse-leaved Mallee	Y		Small bushy tree with bright yellow and red flowers. Suitable for screening.
	<i>Eucalyptus tenera</i>	Glazed Mallee	Y		Attractive small tree with coppery trunks and profuse summer blossoms. Common name refers to glossy leaves.
	<i>Eucalyptus incerata</i>	Mount Day Mallee	Y		Similar to E. tenera, not as well known or widespread. Difficult to obtain in nurseries.
	<i>Eucalyptus jimberlanica</i>	Jimberlana Mallet	Y		Rare (Priority 1) slender tree local to Norseman area. Trunks can be very colourful; best in group plantings due to slender upright habit
Y	<i>Eucalyptus kruseana</i>	Bookleaf Mallee		Y	Very attractive, distinctive shrubby eucalypt with silvery leaves and bright yellow flowers.
	<i>Eucalyptus kumarlensis</i>		Y		Attractive tree often resembling small Salmon Gum. Occurs only in area between Salmon Gums and

					Norseman.
	<i>Eucalyptus lesouefii</i>	Goldfields Blackbutt	Y		Medium tree local to Norseman area; many are growing naturally along the streets.
	<i>Eucalyptus salmonophloia</i>	Salmon Gum	Y		Tall, spreading tree famous for its elegance and colourful bark. Good for large open bare areas. Best planted away from gardens etc due to surface feeder roots.
	<i>Eucalyptus salubris</i>	Gimlet	Y		Well known Goldfields and Wheatbelt species, used for street plantings in inland towns; famous for striking twisted bronze-coloured trunks.
	<i>Eucalyptus stricklandii</i>	Strickland's Gum	y		Attractive tree native to Norseman area and parts of the Goldfields; large yellow flowers. Recognised as ornamental species, widely planted in dry climates.
	<i>Eucalyptus torquata</i>	Coral Gum	Y		Medium-sized tree with striking pink-red blossoms. Native only to Norseman – Coolgardie area. One of Australia's most popular ornamental trees.
	<i>Eucalyptus vittata</i>	Ribbon-barked Mallet	Y		Medium-sized slender tree with attractive coppery trunk and ribbon bark. Common in woodlands west and east of Norseman.
Y	<i>Eucalyptus websteriana</i>	Webster's Mallee	Y		Small tree with very attractive 'minni-ritchi' bark (tightly-curved) and cream blossoms. Occurs naturally around granitic rocky outcrops. Note <i>E. websteriana</i> subspecies <i>norsemanica</i> would be appropriate for Norseman but may not be available.
	<i>Eucalyptus woodwardii</i>	Lemon-flowered Gum /Gungurru*		Y	Attractive semi-weeping tree with white trunks and large yellow flowers. Widely planted around Norseman. *The common name "Gungurru" is often misapplied to <i>Eucalyptus caesia</i> /Silver Princess, however the true, original Gungurru is <i>Eucalyptus woodwardii</i> .

SHRUBS

Y	<i>Melaleuca phoenicea</i> (<i>Callistemon phoeniceus</i>)	Lesser bottlebrush	Y		Large bushy shrub with deep red flowers. Uncommon in Norseman area but occurs across large inland areas of southern WA.
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(Y)	<i>Acacia acuminata</i>	Jam Tree			Large shrub to small tree with neat, rounded canopy of fine foliage. At times, they produce masses of golden blossom (typically Aug-Sept). Well suited as a street tree.
Y	<i>Acacia burkittii</i>	Sandhill Wattle			Large shrub, similar to Jam but often more spreading and with finer foliage. Produces masses of golden blossom.
Y	<i>Brachychiton gregorii</i>	Desert Kurrajong		Y	Attractive small single-trunked tree with apple-green 'neat' canopy of foliage, well suited as a street tree. Very hardy.
Y	<i>Melaleuca coccinea</i>	Goldfields Bottlebrush			Grows to 2 m tall and 3-4 m wide. Has deep red flowers.
Y	<i>Melaleuca pauperiflora</i>	Boree	Y		Tall shrub or small tree with dense rounded canopy and sprays of cream flowers Sept-Dec. Very hardy. Dominant species in much of Goldfields woodlands.
Y	<i>Melaleuca sheathiana</i>	Goldfields Tea-tree	Y		Similar to <i>M. pauperiflora</i> though not as tall.
Y	<i>Pittosporum angustifolium</i>	Native Apricot/Native Willow	Y		Tall shrub with fine weeping foliage.



10.4.5

Officer Reports

REPORT TO COUNCIL

ORDINARY MEETING TUESDAY 17th May 2016

AREA: Works Department

OFFICER: Jon Fry

Period of Reporting: 14th April 2016 – 13th May 2016

Plant and Machinery Report

Tenders for the old loader and skid steer closed on the 29/4/16 and the results were higher than expected, the Shire accepted tenders for \$11,000.00 for the loader and \$11,500.00 for the skid steer

Construction Crew

The construction crew are now back on the Hyden Road, there was a requirement to inject some finances into this road prior to the end of this financial year. Two semi side tippers were hired for a fortnight and we now have a dozer pushing up gravel for a fortnight.

Gardeners

Gardeners are currently doing their general maintenance, shortly they will be involved in planting trees and bushes at the Information Bay.

Town Crew

Work is now concentrating on completing the projects that the construction gang were involved in. Kerbing contractors have been in and done the kerbing at The Information Bay, The Town Hall, The Intersection of Roberts Street and Old Eyre Highway and finally Mines Road and Battery Road. After the contractors finished our day labour has been busy backfilling the kerbing, putting up signage and generally tidying up.

They have also been involved in cleaning out some of the earth drains to promote a better, cleaner flow, this is an ongoing task. A better access road has been built at the waste depot, and some of the slots have been tidied up, when the dozer comes in from pushing gravel we will get him to spend some time pushing the hard waste in.

Work for the Dole

There has been a vast improvement from this team, the cemetery is being cleaned up, some work has been done on the verges and they are starting to do the long awaited improvements to the Bowling Clubhouse and surrounds. Negotiations are underway for them to take care of the community garden

Gravel Exploration

A trip was made out to Cocklebiddy with the Kubota excavator in search of suitable road building material. Test holes were dug from Cocklebiddy to Arubiddy and the material found needed the large rocks crushed, this combined with the other material would be suitable for road making. I am informed that further north there is suitable material that does not need crushing, however the distances involved in carting this material make it more viable to get a crushing contractor in. One crushing contractor has indicated that he would do the job for \$4.00-\$5.00/tonne. There is \$100,000.00 in the budget this year for work on this road

Slip on and trailer units for fire fighting

The shire was successful in getting a grant from Lotterywest to build 8 slip on and 2 trailer fire units for fire suppression on the Eyre Highway, these will be strategically placed along the highway under the care of Station Owners/Managers. BellFire are the company manufacturing them for the Shire and they will have a sample of each sort on display at the Annual Fire Meeting at Caiguna on the 18/5/16

Youth, Sport & Rec Report – Council Meeting 17th May 2016

Total attendances to the Youth Centre during the period of 01/04-30/04/16

Open 19 days (21 working days in this period. Only closed for RDO's, Annual Leave and days off)

Total of 143 youth signed in during this period.

Average of 7.52 youth per day. This average has almost tripled since the start of this year. This is a very positive sign that the activities organised for youth aged 12-18 through the Youth Centre are being well received and that we are moving in the right direction.

Sport and Recreation:

Football: to date, we have signed up 17 children to play football for the Kambalda Junior Football Club. There might be an opportunity to sign up some more boys/girls to play in the 10 year old and under team. Training takes place on Mondays and Wednesdays in Kambalda, however getting to training twice a week is not feasible so we have decided to only go on Mondays. We have the 14 & under coach coming to Norseman on Friday 13th to run a training session here with those kids signed up and any other kids that want to join in too. This might be something the other coaches will do throughout the rest of the season also. I have a great group of parents/caregivers that travel with us to games, help to drive and also are running training sessions here in town too. Thank you all so very much for your continued support.

Netball: getting players for netball has been up and down for both myself here in Norseman and with Jo the coach of Mana Wahine in Kalgoorlie. We had 2 teams entered, an Under 13's Division 2 side and an Under 15's Division 2 side. Unfortunately due to lack of attendance at training from the Kalgoorlie girls and no shows to the first game, we have had to pull the under 15's team from the competition. Thankfully I was able to find a few more girls keen to play in the Under 13's side and we now have 5 girls that will be playing netball every Saturday. Training is held on Wednesday nights in Kalgoorlie and we travel up to learn plays and get to know our other team members better. Thank you to Jess Kartinyeri for putting her hand up to help with training and umpiring at the games, the girls are going to learn a lot from your help and support.

Dance Lessons: Dance lessons with Sarah Moore from Moore Moves Dance Company began on Sunday 8th May. We had a fantastic turn out (23 boys and girls) for our very first session and it looks encouraging that we may have these numbers on a continued basis. Participants contribute \$5 each lesson to help pay for the lessons. They are applying for funding through the Shire's Community Grant Funding as lessons with Sarah are \$300 for the day. Sarah will be travelling to Norseman on a fortnightly basis to teach our children a dance routine that they will then showcase at the Moore Moves Dance Company end of year concert. They will also be able to perform the routine at any other event that is held in Norseman towards the end of the year. Eg: Gold Fever Festival, Seniors Christmas Dinner, School Presentation Day and many other events. Dona Brydon has put her hand up to continue to teach the routines

on the weekends that Sarah is not here in town. I have done up a poster and have dates for this for the next 9 weeks.

Swimming Squad: Winter is upon us and as such our swimming season has come to an end. It was great to see lots of new faces in the squad this year and also to see so much support from the parents as well. Sharon has done a great job coaching the kids and getting them to time trial and other events during the season. Looking forward to setting up another great season of swimming later in the year when the pool is open once again. Since the swimming squad has started, we have seen a great improvement in the number of kids competing in the schools Aquatic Sports Day. Currently our swimmers have the opportunity to continue swimming with a coach from Kambalda – Cheryl Wheatly at the Oasis. Parents are encouraged to get their own child there if they would like them to keep up with swimming over the winter months. Unfortunately the Youth Centre is unable to assist with this as we are stretched thin with our current winter sporting activities.

Sports Night Fridays: I cannot believe the numbers we have been getting at Sports Night Fridays! We are getting between 40-50 kids and adults each week. Now that the nights are getting colder, I will be looking at running indoor activities so that we do not lose this momentum we have going now. We are looking at running squash (in the courts at the oval); gymnastics, table tennis & badminton in the Town Hall and air hockey, foos ball and movie nights in the Youth Centre. I will have a calendar of activities planned in blocks for our chilly winter nights.

Youth Activities:

Currently in planning stages of what activities we will be running during the July school holidays. Have a week of activities planned with Community Development for the second half of the holidays. Will have a timetable and any permission forms ready to go before the end of the school term.

REPORT TO COUNCIL

COUNCIL GENERAL MEETING TUESDAY 17th MAY 2016

AREA: COMMUNITY DEVELOPMENT

OFFICER: PANIA TURNER

Period of Reporting: 20th March – 14th April 2016

ANZAC Dawn Service and Breakfast

The ANZAC Dawn Service was as always a moving and special community event. Over 80 people attended the service with a representation of the majority community present. The service had a personal feeling to it and as is proper was not long or drawn out, paying tribute to service men and women who have made the ultimate sacrifice for their country. It was especially pleasing to see the involvement of the younger generation with students from Norseman District High School speaking, raising the flags and laying a wreath. It was also lovely to have the seniors in our community speaking quite personally about their family experience of war.

Following the service members of the community then proceeded to the Digger's Breakfast where chief cook Margaret McEwan put on a wonderful big breakfast for all attendance. Once again well done to Norseman DHS Community Service Class students Shanaya and Jake who gave up their morning to cook, serve and clean during the breakfast.

Goldfields Tourism Network Association: Laverton:

On the Friday 6th May Councillor Webb and myself attended the GTNA board meeting in Laverton. Once again this was an informative meeting with opportunity to promote all the Shire of Dundas is doing as it moves forward with its planning for revitalization of the shire. The board reviewed upcoming tourism projects from member shires with a few of the shires also submitting to the Royalties for Regions Revitalization fund to progress their projects. Council may be interested to know that mention of Dundas naming the Great Western Woodlands as part of the new Cultural, Community and Visitor Centre was met with interest and discussion after the meeting. The manager presented the Business Plan which if Council is interested may be viewed on request.

Whilst travelling to and from Laverton we took the opportunity to visit the Leonora Visitor Centre. The centre is housed in an older building with much renovation work going into highlighting the heritage characteristics of the building. The facility is well maintained with a variety of interesting heritage displays, local artwork and local area information. The staff member at the counter was very friendly and professional and endeavoured to find out our needs and then promote local business that could address those requirements.

Also co-located in the Visitor Centre was the town Library, this brought a number of local residents through the centre while we were there. It was an excellent set up adding to the life of the place and as a side effect allowed local residents to regularly view what is happening in their town and how it is being promoted to visitors. If you are ever in Leonora I strongly recommend you visit the centre to see how it works.

We also visited the Laverton Visitor Centre which offers an interactive experience of a short film, and walk through history of the shire, the centre also has a coffee shop. Once again the staff were very welcoming and eager to promote their product and their shire. There was a variety of giftware, art and information to be viewed. The visitor centre caters to a weekly coach stop on Fridays which is always a busy morning for the business.

As Council looks forward to creating a place in which to welcome visitors and showcase the diversity and beauty of our shire it is essential that we create a place that is of a high standard and competitive service in a tourism market, reflects the uniqueness and beauty of the natural

environment, showcases our rich culture and heritage, and has a sense of the personality of the people who call Dundas home.

Ngadju Heritage Training

Through 10-12th May Community Development was invited to attend the Introduction to Heritage Management Training run by the Department of Aboriginal Affairs held in Norseman. I would like to acknowledge with thanks the invitation to attend from Ngadju Conservation.

'Aboriginal sites are an important part of the heritage of the whole community. They are of immense cultural, scientific, educational and historic interest. Aboriginal heritage sites provide Aboriginal people today with an important link to their present and past culture.' (WA Department of Aboriginal Affairs <http://www.daa.wa.gov.au/heritage/aboriginal-heritage/>)

Ngadju and Mirning sites are an important part of the heritage for the whole community of Dundas. Understanding the significance of important sites and the connection for Aboriginal people to those sites allows respectful discussion and collaborative solutions for the management and protection of sites.

It was an extremely useful course and I believe has helped identify some key project opportunities between Ngadju and the Shire.

Interagency Meeting

As happens every three months visiting and local community service agencies met in Norseman on Wednesday 4th May. It was excellent to have our Shire President present to the meeting and have her request accepted for the Hon Dave Grills to attend the next meeting where services can identify needs for remote communities such as Norseman.

Eucla Visit

Community Development travelled with Kulbardi Consulting through to Eucla during April to look at how Council's vision for the revitalization of the area will be progressed through to the Shire boundaries.

Community Development and the consultants introduced themselves to all roadhouse owners or managers where available and explained the concept ideas for tourism marketing along the Eyre Highway. Operators were friendly and all allowed photos to be taken. As Council moves forward with its plans good consultation will be key in positive outcomes for the projects.

The potential to tell the stories of Dundas, both Aboriginal and European, if done well would provide enriched visitor experience, enjoyment and knowledge of the area. For example the epic exploration of Eyre and Wylie is of national significance and if told well could be a significant tourism experience for travellers along the Eyre Highway.

Community Development was also able to catch up with Dave Shaw from the Eyre Highway Community Association Inc. We spoke about a variety of areas that the group is looking at with a particular priority being the Eucla Community Hall which was raised at the Eucla Council meeting. The group is working hard to re-establish the popular community activities that bring community together and the hall is the ideal gathering place its care and maintenance is seen as a high priority. It is important for Council to always be mindful of Eucla who is the first town as you enter Dundas from the rest of Australia.