

Attachment Three

Civil Engineering Report

Our Ref: NV/JT L095.26
Job No: 26-04-033

Level 2 Kishorn Court
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Mount Pleasant WA 6153

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18 May 2026

Rowe Group
Level 3 369 Newcastle Street
NORTHBRIDGE WA 6003

Attention: Peter Stuart

Dear Peter,

**30-32 MILDURA STREET, NORSEMAN
SERVICING ASSESSMENT
PROPOSED ACCOMMODATION VILLAGE**

Porter Consulting Engineers has been engaged by Rowe Group to prepare a servicing assessment of a proposed workforce accommodation village located at 30-32 Mildura (corner of Talbot St) in Norseman. Refer to Figure 1 below for the location of the site.

The village is expected to incorporate 8 rooms, a gazebo, laundry, and storage facilities.



Figure 1: Locality Plan

1.0 Background Information

This servicing report has been prepared based on a desktop investigation of the site with reference to the following documents:

- Preliminary Design Drawings (Andre Melville Building Design, March 2026) – **Attachment A.**
- Dial Before You Dig records – **Attachment B.**
- Effluent Disposal Assessment (Galt Geotechnics, June 2021).

2.0 Planning

Mapping indicates that the site is zoned as Residential; therefore, the zoning may need to be changed to Commercial to allow the site to be developed as workforce accommodation.

3.0 Landform

Historical street view photography indicates that the site is being used as a storage yard for demountable structures as of October 2025. The site appears to be generally flat. A partially demolished structure is also present on site. An open drain is located on the other side of Mildura Street and flows through to a basin further north.'

A geotechnical investigation was completed for the wastewater treatment plant located north of site at the corner of Richardson Street and Mildura Street. For the purposes of this servicing report, it is assumed that the ground conditions at the Mildura Street site will be similar to that of the wastewater plant, which was found to consist of a combination of clay, sand, silt and gravel. The measured infiltration rates were found to be between 0.04m/day and 1.6m/day which indicates that disposal of stormwater via soakwell infiltration is not suitable.

Groundwater was not encountered during the geotechnical investigation. It is expected that perched groundwater during wet periods due to the presence of clayey soils.

A site specific geotechnical investigation is recommended for detailed design.

4.0 Environmental & Heritage

As the site was previously developed and lies within the townsite, the environmental and considerations are minor. Mapping indicates that the site does not lie within a bushfire prone area, areas containing unexploded ordnance, or any areas containing threatened ecological communities.

The site is listed as local heritage (Masonic Hall). It was previously noted that the hall appears to be partially demolished so the current heritage status of the building will need to be confirmed prior to commencing works.

The site lies within an Aboriginal Heritage zone; however, most of the Norseman townsite is also located within this area so it is not expected to be an issue.

5.0 Siteworks, Earthworks & Retaining

Based on aerial imagery and the preliminary design drawings, there is an existing dwelling, shed and storage container that will need to be demolished prior to commencement of works. The site may require a topsoil strip prior to commencement of earthworks, there may be opportunity to screen, and reuse the stripped topsoil in landscaped areas on-site.

It is expected that some minor filling of site will be required to facilitate stormwater drainage runoff to the northern and western verges.

6.0 Sewer Reticulation

The sewer reticulation within Norseman is privately owned so information on the existing network is not readily available. A wastewater treatment plant (WWTP) owned by Resource Accommodation Management is located at the corner of Richardson Street and Mildura Street. It is expected that a private pump station will be required on site to pump wastewater to the WWTP.

It is anticipated that the pump station at the Mildura St site will receive discharge from the Roberts St site, wastewater from both sites would then be pumped north to the existing WWTP (refer **Figure 2** below).



Figure 2: Proposed Sewer Servicing

7.0 Water Reticulation

There is an existing 58AC Water Corporation water main within the right of way behind the lots (parallel to Mildura Street). Water Corporation's online asset mapping (refer **Figure 3**) show there is an existing meter is connected to the 30 Mildura Rd lot. It is assumed that this meter can be used to service the accommodation village.

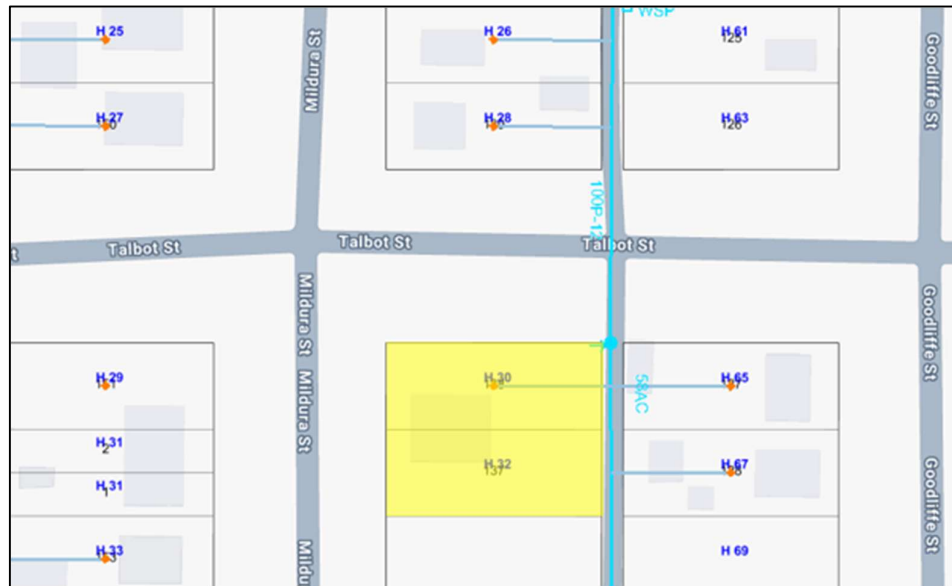


Figure 3: Existing Water Reticulation

8.0 Stormwater Drainage

It is anticipated that some fill will need to be added to the site in order to facilitate overland flow paths for stormwater drainage as on-site stormwater storage will not be feasible due to the soil profile. Flow will need to be directed towards Mildura Street and can be achieved by shaping the site ground contours and through use of trench grates. Subject to review of the feature survey, a culvert may need to be constructed under Mildura Street to discharge stormwater directly into the open drain in the opposite verge (refer **figure 4**).



Figure 4: Existing open drain location

9.0 Roads, Paths, and Fencing

The surrounding road network is sealed with no kerbing (except on bends). An existing bitumen path runs along Mildura Rd at the front of the lots but appears to be in poor condition. 8 Parking bays are proposed in the Talbot St verge. There is no proposed vehicle access to the site so no new crossover will be required.

1800mm high Colorbond fencing has been noted to be installed around the site as per the preliminary design drawings.

10.0 Power

The DBYD records from Horizon Power (refer **Figure 5**) show that there is an existing overhead power connection to 30 Mildura Road. It is expected that this feed can be used to service the accommodation village.

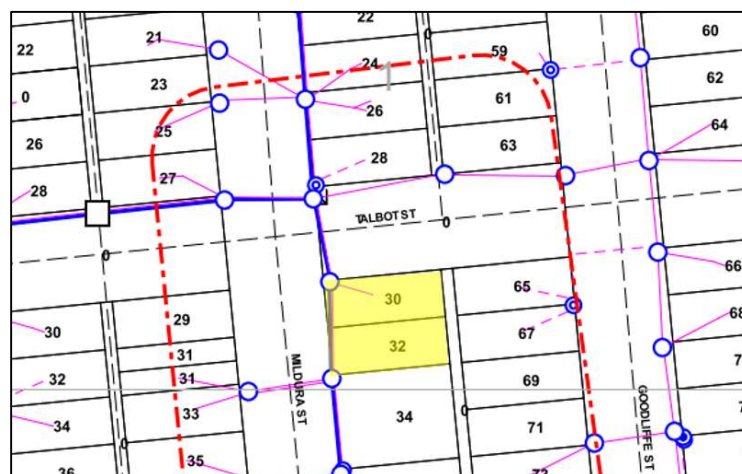


Figure 5: Existing power infrastructure

No data is available regarding the current or forecasted capacity of the network. Due to the small size of the development, we anticipate the site can be adequately serviced without any upgrades to the existing network.

11.0 Communications

The DBYD records from Telstra and NBN (refer **Figure 6**) show that there is an existing NBN communications network in the area but no connection into the property. An existing NBN pit is located at the front of 32 Mildura Street, and it is expected that a connection can be made from this pit to service the accommodation village.



Figure 6: Existing communications infrastructure

12.0 Mobile Communications

Mobile connectivity (4G and 5G) for new developments is an important consideration. A mobile service is received from local and regional antennae that are operated by various communications providers. Figure 7 below shows the location of existing antennae (blue and green dots) near the site (red).



Figure 7: Existing Mobile Service Antennae

Figure 8 shows Telstra's 4G network coverage. Norseman is not currently within Telstra's 5G coverage zone.



Figure 8: Telstra 4G Coverage

Based on the above, there are multiple mobile service antennae in close proximity to site, and the site has only 4G coverage. It is anticipated that mobile connectivity will be available for the Mildura Street accommodation village.

13.0 Gas

There is no reticulated gas within Norseman and no gas storage bullet has been proposed as part of the design for this lot.

14.0 Summary

It appears the site is relatively constraint free with no servicing or engineering limitations that prohibit development. The following comments are noted:

- Due to the clayey soil system in the area, a geotechnical investigation of the site is recommended.
- It is expected that some fill will be required for the site in order to manage stormwater. A culvert / pipe through to the open drain will be required to transfer stormwater off-site.
- To manage wastewater, it is anticipated that a private pump station will be required to transport wastewater to the treatment plant.
- It is recommended that Horizon Power are engaged early into the development phase to ensure they do not impact the development program.

Yours faithfully,



Jarryd Treacy
Senior Civil Engineer

Enc.

ATTACHMENT A
Preliminary Design Drawings

PROPOSED ACCOMMODATION VILLAGE

30-32. MILDURA STREET, NORSEMAN, WA, 6443

SHEET No.	SHEET NAME	REVISION	REVISION DATE
SK-00	TITLE PAGE	A	09/03/26
SK-01	SITE LOCATION PLAN	A	09/03/26
SK-02	SITE OVERALL PLAN	A	09/03/26
SK-03	EXISTING SITE PLAN	A	09/03/26
SK-04	SITE PLAN	A	09/03/26

SHEET No.	SHEET NAME	REVISION	REVISION DATE
SK-05	GROUND FLOOR PLAN	A	09/03/26
SK-20	PERSPECTIVES		
SK-21	PERSPECTIVES		
SK-22	PERSPECTIVES		
SK-23	PERSPECTIVES		



ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES

P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535

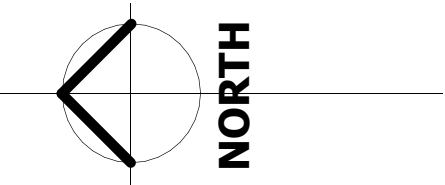
E-MAIL: admin@ambd.com.au
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Sustainable Building Designer

Townsville - Brisbane - Goldcoast

QBCC No. 1222804
ABN No. 37 155 932 675



PROPOSED SITE LOCATION

EXISTING ACCOMMODATION DINING FACILITIES

COOLGARDIE-ESPERANCE HIGHWAY

EXISTING ACCOMMODATION VILLAGE

PROPOSED SITE LOCATION

EXISTING SEWERAGE TREATMENT PLANT

RAMSAY STREET

LOCAL HOSPITAL

LOCAL AIRPORT

CP-SITE LOCATION PLAN
1 : 10000@A3

NOT FOR CONSTRUCTION

NOTE:
- VERIFY ALL DIMENSIONS ON SITE
- NOTED DIMENSIONS TAKE PRESIDENT OVER SCALED DIMENSIONS

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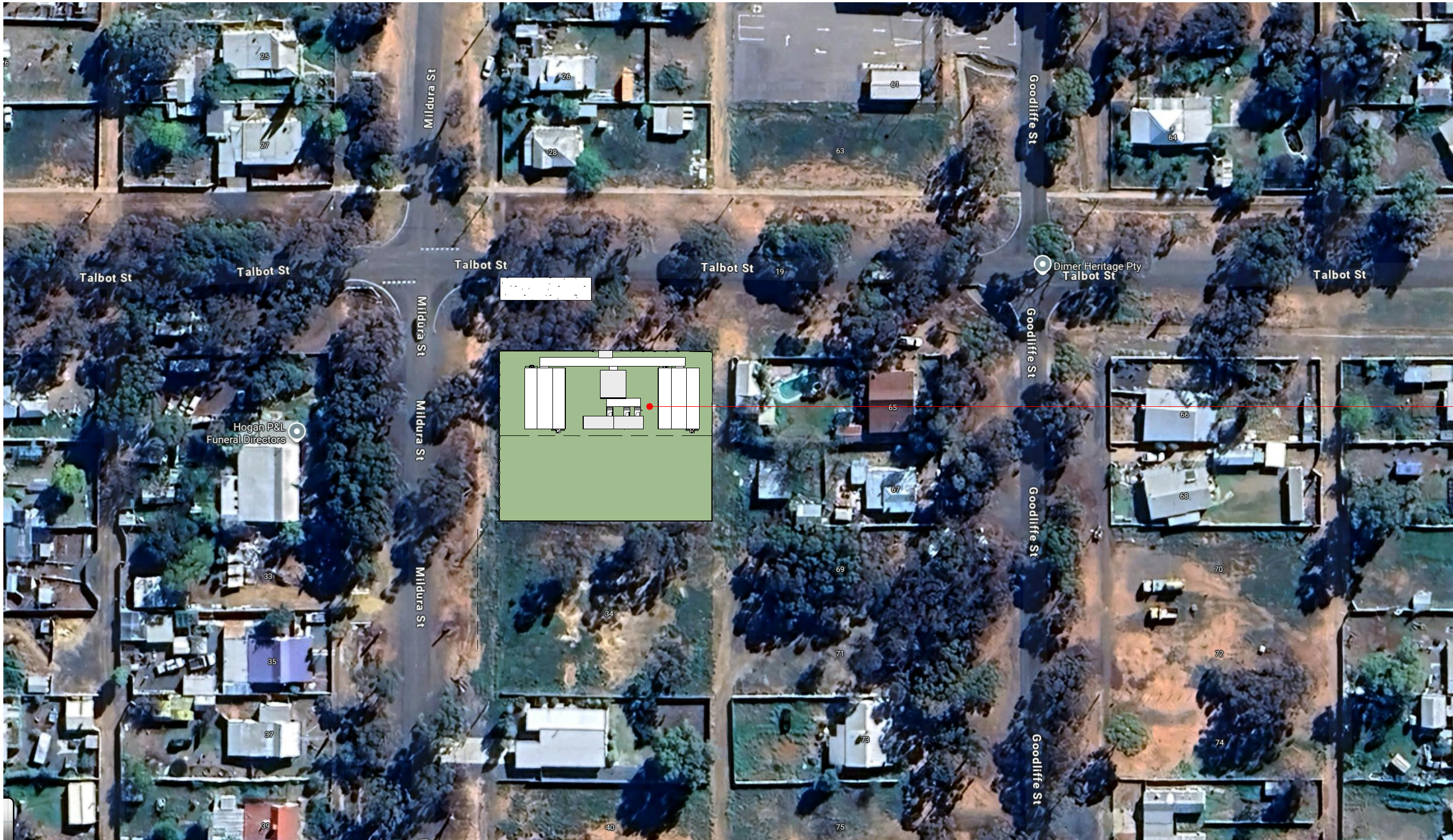
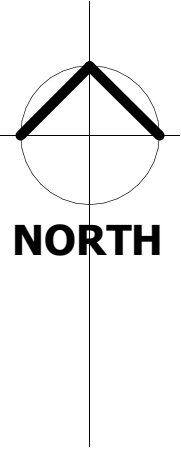
PROJECT : PROPOSED ACCOMMODATION VILLAGE
CLIENT : Resource Accommodation Management Pty Ltd
LOCATION: 30-32. MILDURA STREET, NORSEMAN, WA, 6443

QBCC No. 1222804
ABN No. 37 155 932 675

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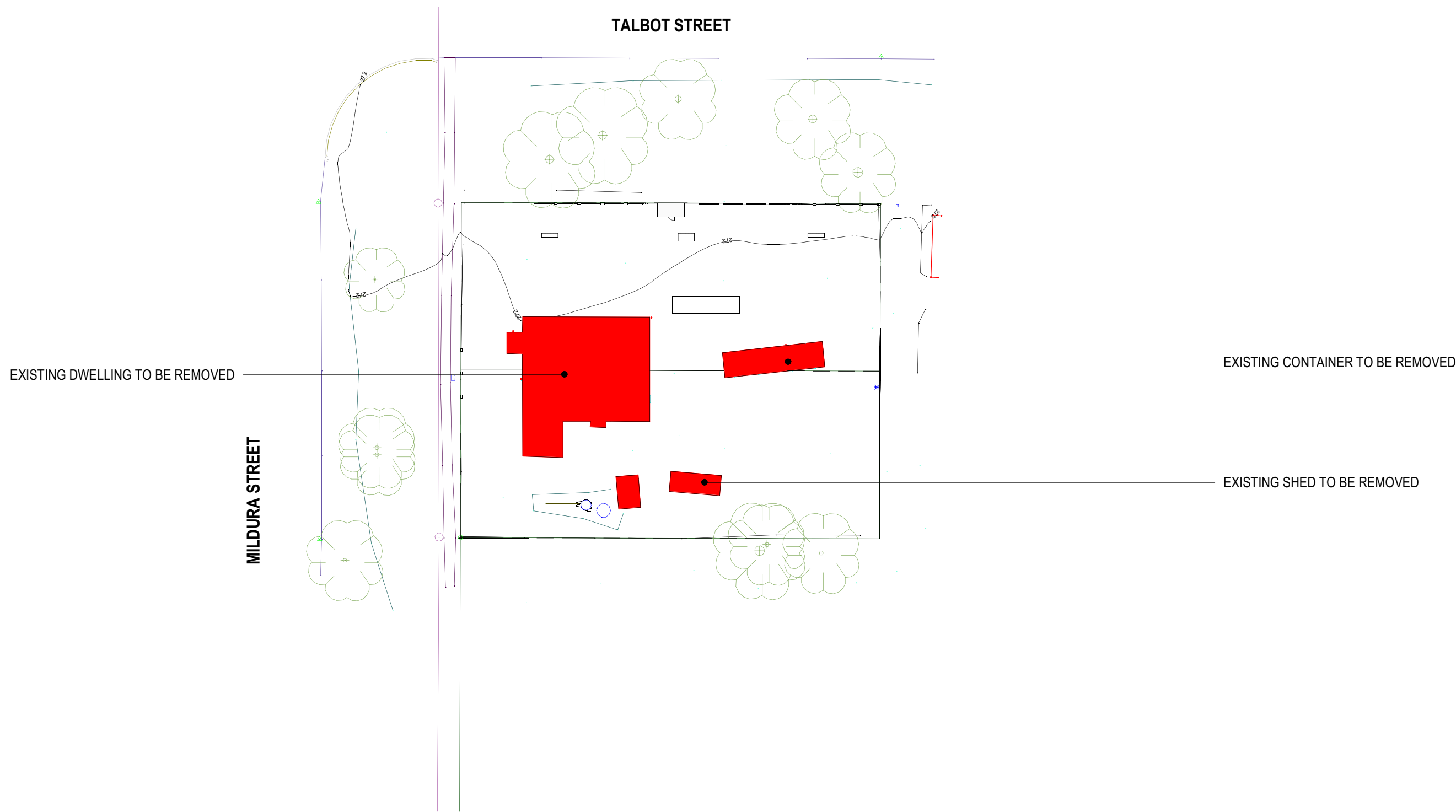
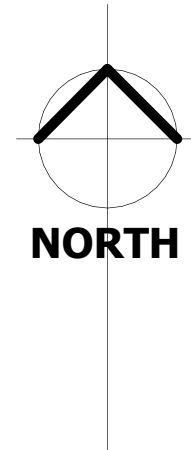
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			ISSUED	09/03/26	26-001 - SK-01 - A



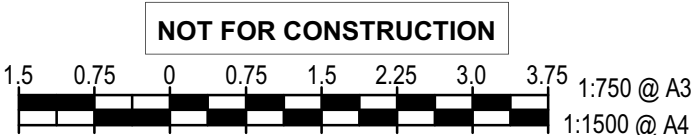
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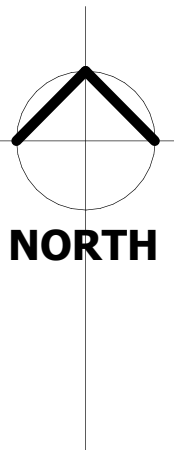
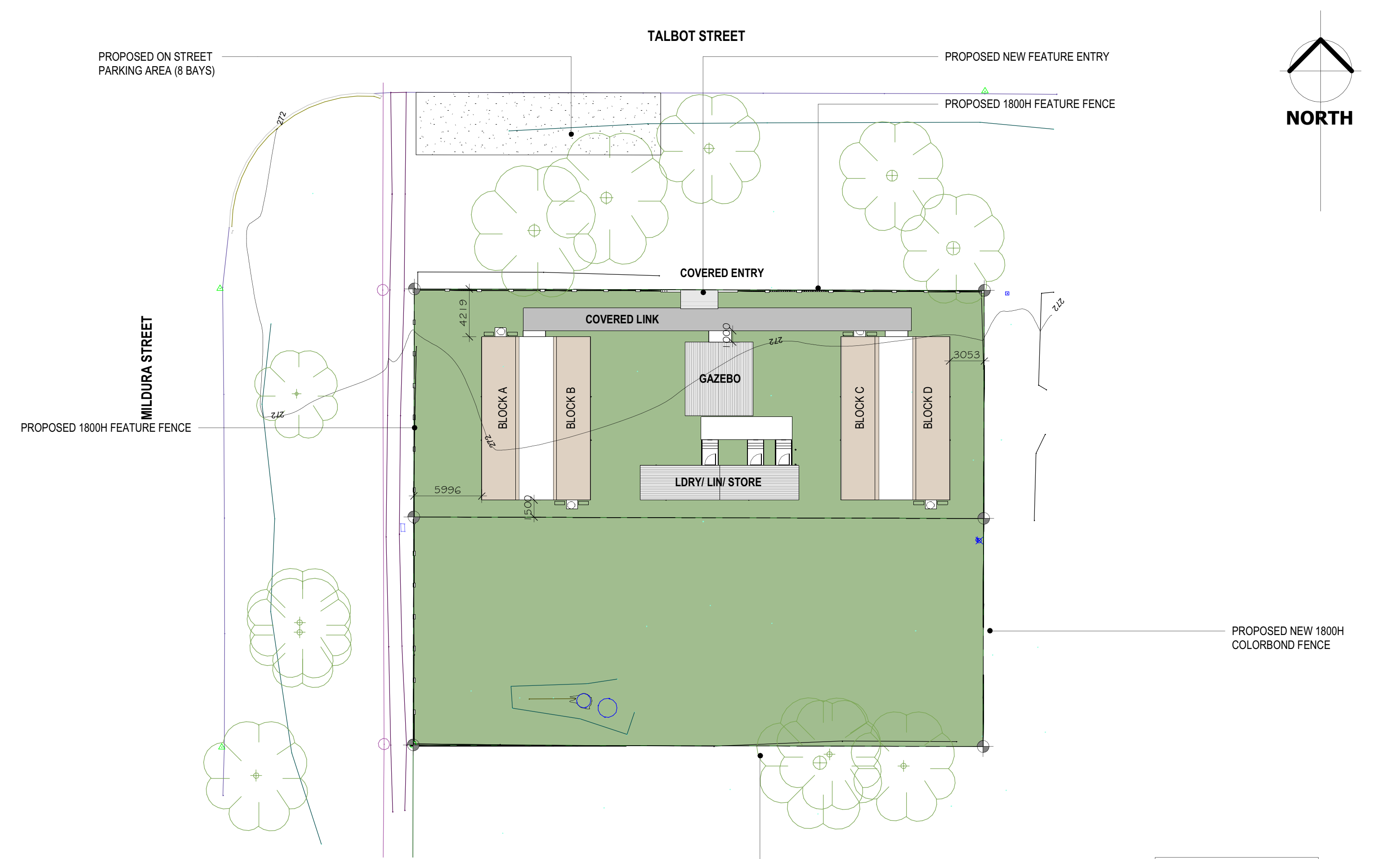
CP-SITE AREA PLAN
1 : 1000@A3

NOT FOR CONSTRUCTION



CP - EXISTING SITE PLAN
1 : 500@A3





CP - SITE PLAN
1 : 300@A3

NOTE:
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No.	Description	Date
A	PRELIMINARY SITE CONCEPT	09/03/26

DESIGNED	AM
DRAWN	AM
DATE	FEB 2026
SCALE	A3 1 : 300
ISSUED	09/03/26

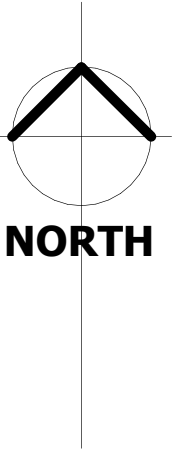
SITE PLAN	
26-001 - SK-04 - A	

6.03.0003.06.09.012.015.0

1:300 @ A3
1:600 @ A4

NOT FOR CONSTRUCTION

9/03/2026 1:35:44 PM



CP-SITE GROUDN FLOOR PLAN
1 : 300@A3

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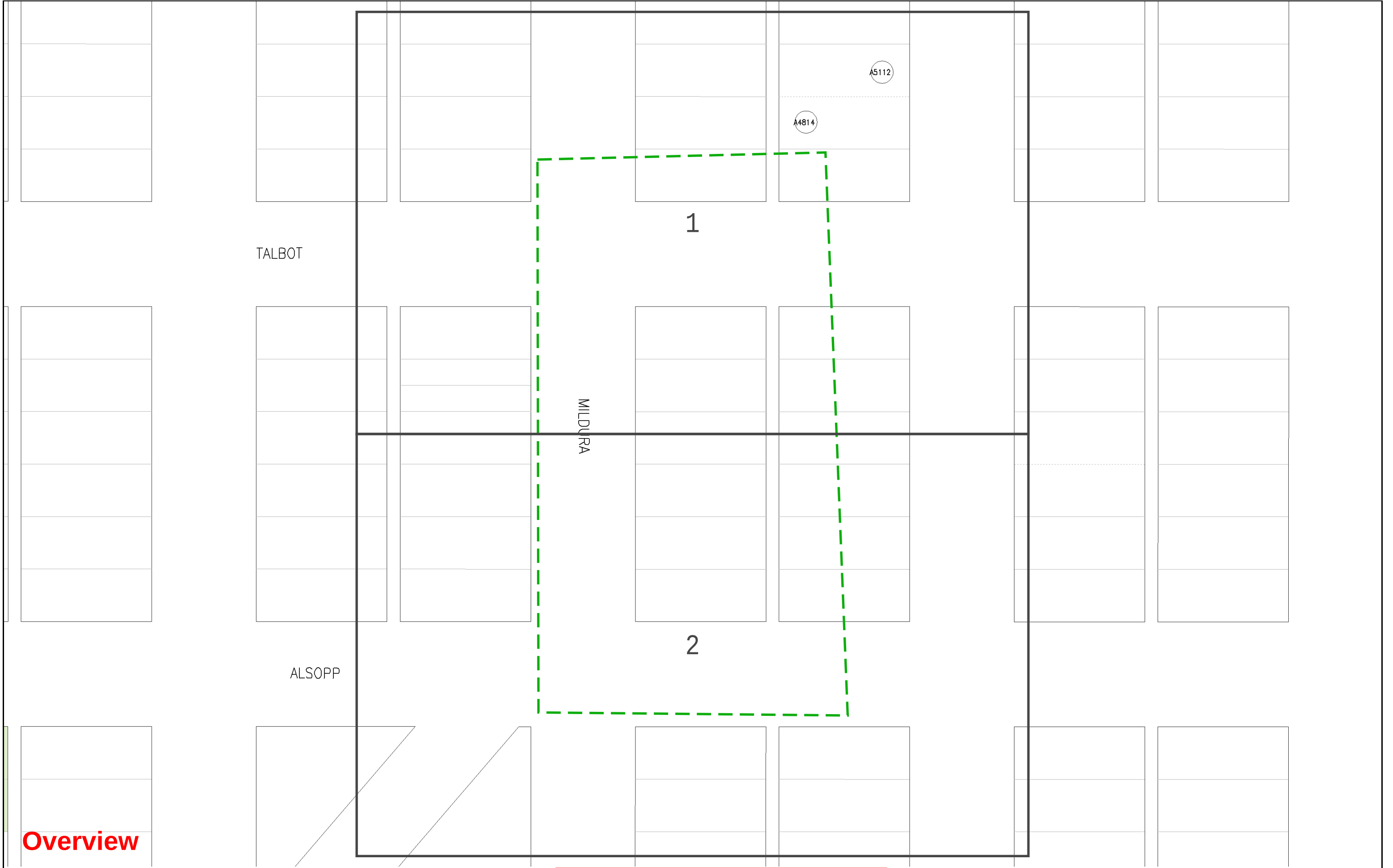
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No.	Description	Date
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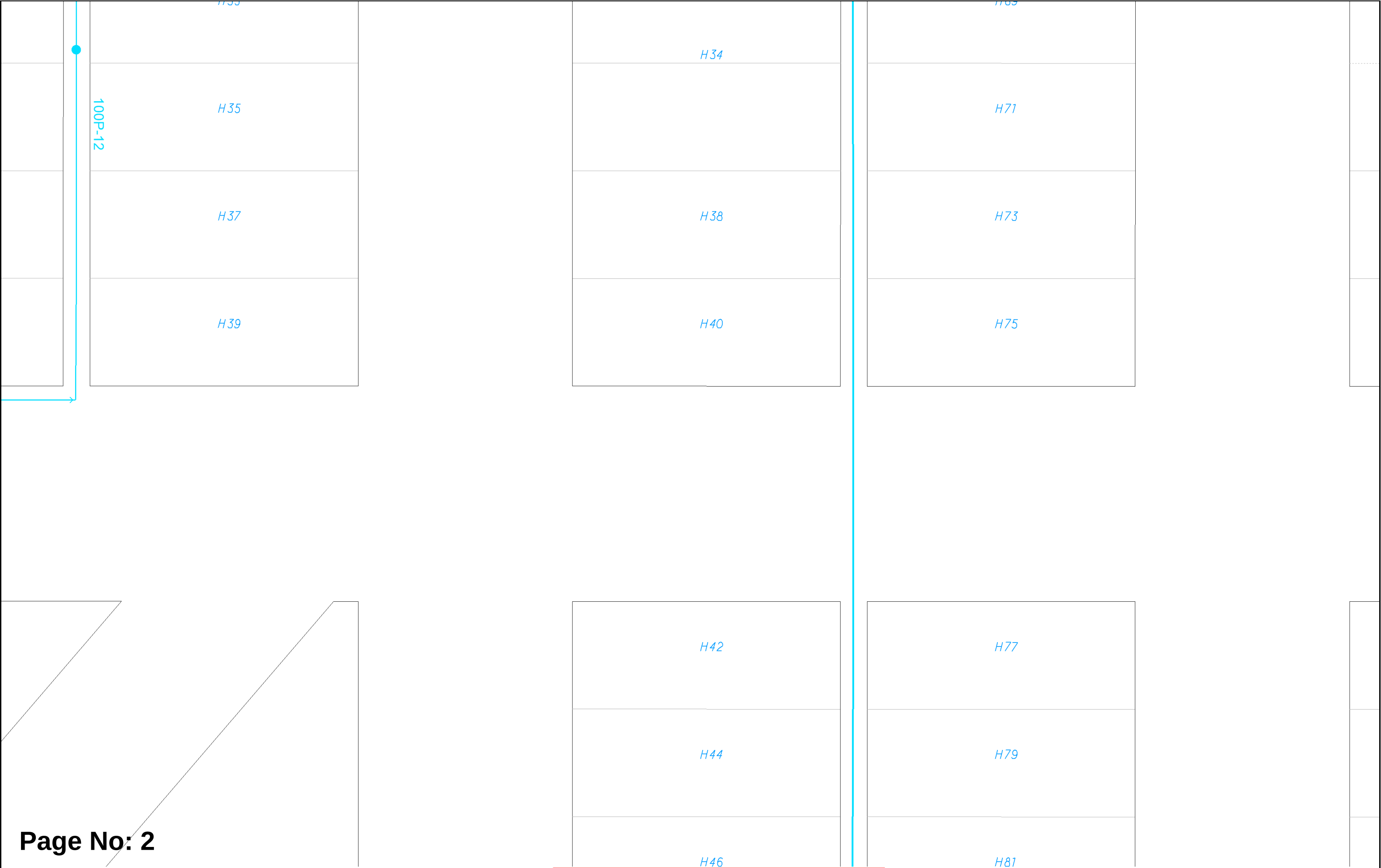
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DRAWN	AM
DATE	FEB 2026
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ISSUED	09/03/26

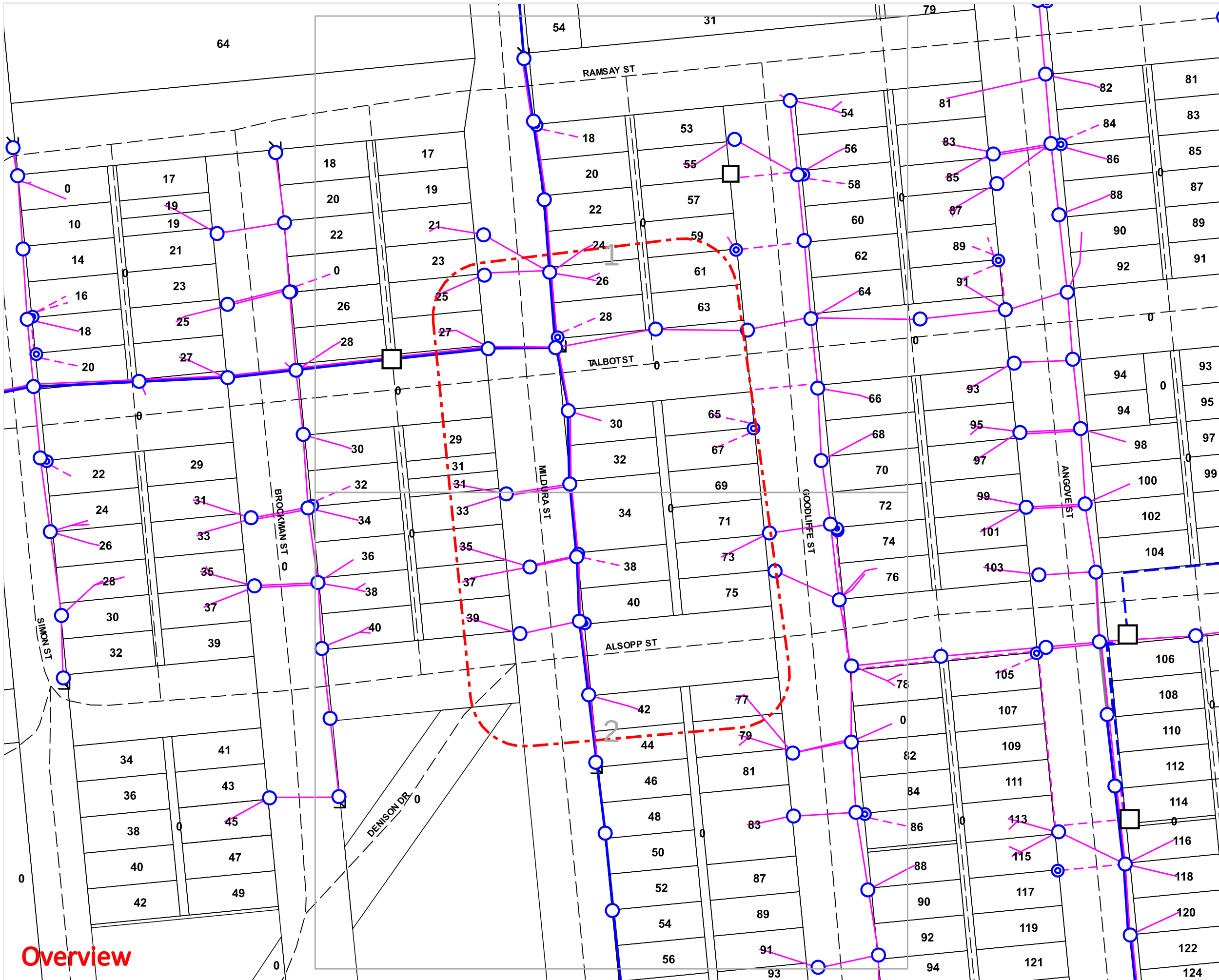
GROUND FLOOR PLAN
26-001 - SK-05 - A

ATTACHMENT B
Dial Before You Dig Records









Legend

Existing	Proposed	
		Distribution Substation
		Distribution Pole
		LV Mini Pillar
		LV Universal Pillar
		LV Cabinet
		LV Unmetered Supply Pit
		LV Service Pit
		LV Wall Mounted Box
		LV Unknown Structure
		LV Distribution Cable - Underground
		LV Distribution Wire - Overhead
		HV Distribution Cable - Underground
		HV Distribution Wire - Overhead
		Stay Anchor
		Stay Wire
		Transmission Cable - Underground
		Transmission Wire - Overhead
		Transmission Pole
		Transmission Tower
		Communications Cable
		Fibre Optic Cable
		Zone Substation

Scale: 1:2050
Expires: 13 May 2026

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Overview

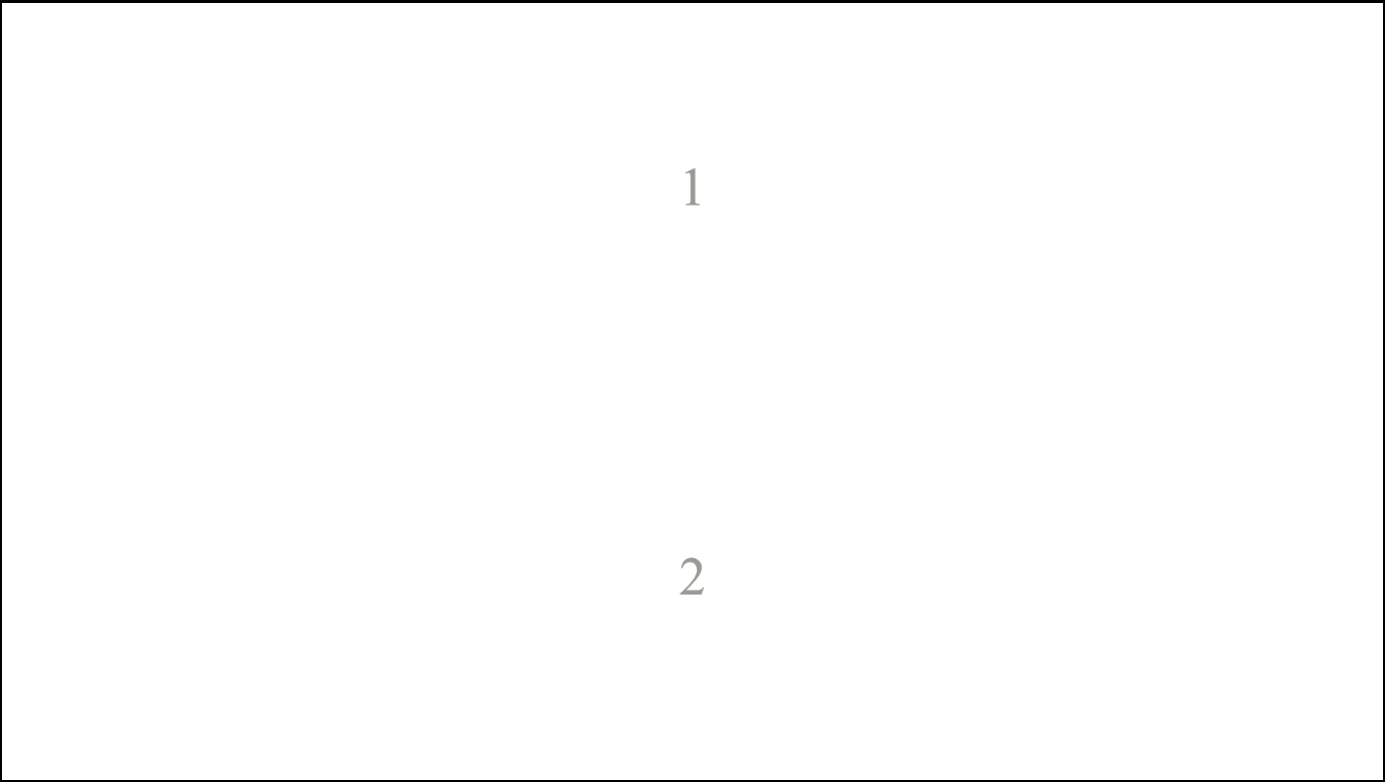


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To: Jarryd Treacy
Phone: Not Supplied
Fax: Not Supplied
Email: jarryd@portereng.com.au

Dial before you dig Job #:	52889039	
Sequence #	271316785	
Issue Date:	15/04/2026	
Location:	34 Mildura Street , Norseman , WA , 6443	

Indicative Plans are tiled below to demonstrate how to layout and read nbn asset plans

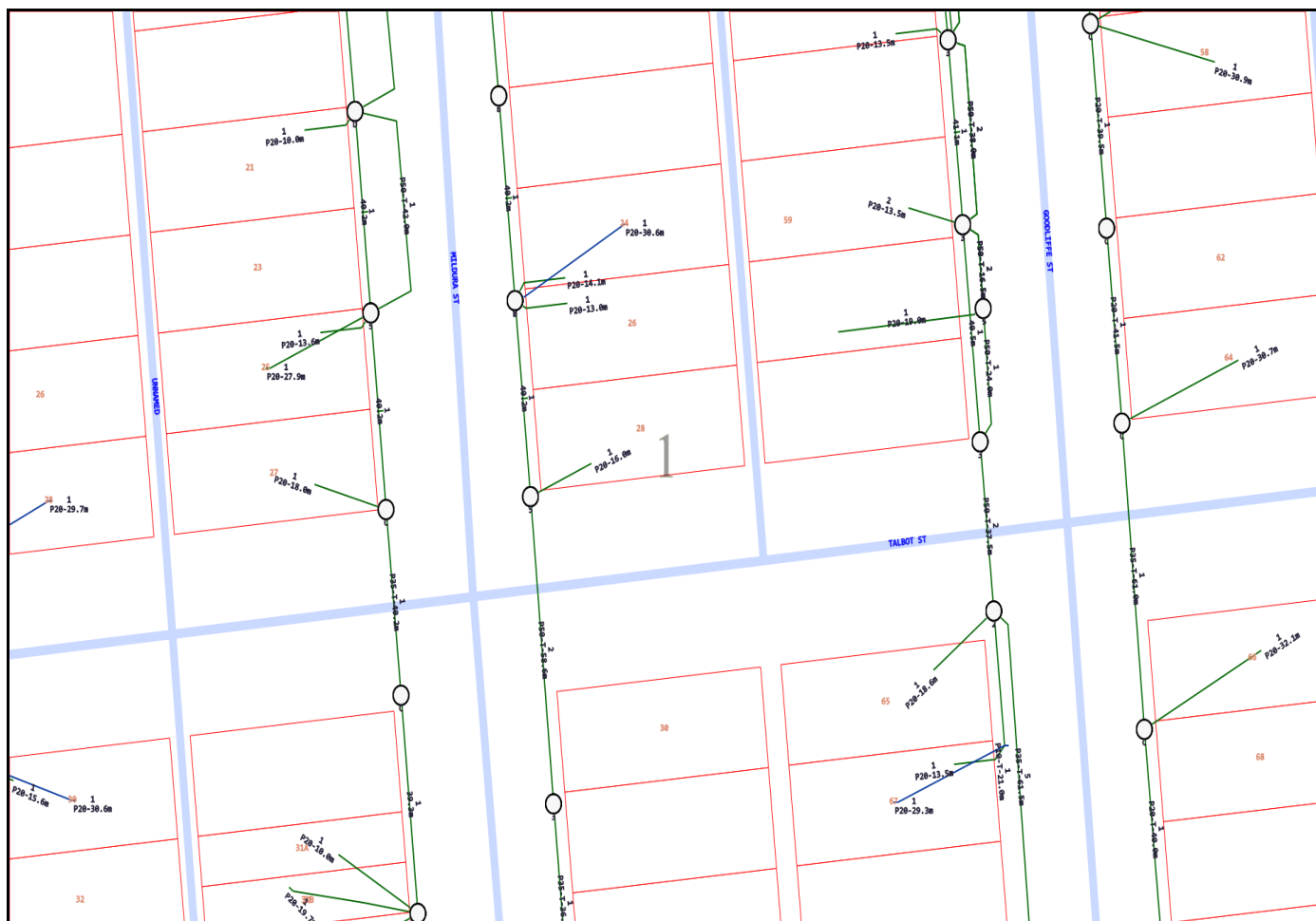




LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m





	Report Damage:https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 271316787 Please read Duty of Care prior to any excavating
TELSTRA LIMITED A.C.N. 086 174 781 Generated On 15/04/2026 12:21:16		

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.