

Attachment Five

Civil Engineering Report

Our Ref: NV/JT L094.26
Job No: 26-04-034

Level 2 Kishorn Court
58 Kishorn Road
Mount Pleasant WA 6153

PO Box 1036
Canning Bridge WA 6153

Tel: (08) 9315 9955
Email: office@portereng.com.au
www.portereng.com.au

18 May 2026

Rowe Group
Level 3 369 Newcastle Street
NORTHBRIDGE WA 6003

Attention: Peter Stuart

Dear Peter,

**94-96 ROBERTS STREET, NORSEMAN
SERVICING ASSESSMENT
PROPOSED ACCOMMODATION VILLAGE**

Porter Consulting Engineers has been engaged by Rowe Group to prepare a servicing assessment of a proposed workforce accommodation village located at 94-96 Roberts Street in Norseman. Refer to Figure 1 below for the location of the site.

The village is expected to incorporate 48 rooms, a gazebo, laundry and storage facilities.



Figure 1: Locality Plan

1.0 Background Information

This servicing report has been prepared based on a desktop investigation of the site with reference to the following documents:

- Preliminary Design Drawings (Andre Melville Building Design, Feb 2026) – **Attachment A.**
- Dial Before You Dig records – **Attachment B.**
- Effluent Disposal Assessment (Galt Geotechnics, June 2021).

2.0 Planning

Mapping indicates that the site is zoned as Commercial, which allows the site to be developed as work force accommodation.

3.0 Landform

Survey levels shown on the preliminary design drawings indicate that the site is relatively flat, with levels ranging from 279.50m at the northeast corner of the site to 278.40 at the southwest corner of the site.

Historical street view photography suggests the site has been used as storage yard. A shed, awning, several sea containers and other various materials have been left on site. Historical aerial mapping indicates that a building was previously located on the 96 Roberts Street but has been mostly demolished.

A geotechnical investigation was completed for the wastewater treatment plant located north of site at the corner of Richardson Street and Mildura Street. For the purposes of this servicing report, it is assumed that the ground conditions at the Roberts Street site will be similar to that of the wastewater plant, which was found to consist of a combination of clay, sand, silt and gravel. The measured infiltration rates were found to be between 0.04m/day and 1.6m/day which indicates that disposal of stormwater via soakwell infiltration is not suitable.

Groundwater was not encountered during the geotechnical investigation. It is expected that perched groundwater during wet periods due to the presence of clayey soils.

A site specific geotechnical investigation is recommended for detailed design.

4.0 Environmental & Heritage

As the site was previously developed and lies within the townsite, the environmental and heritage considerations are minor. Mapping indicates that the site does not lie within a bushfire prone area, areas containing unexploded ordnance, or any areas containing threatened ecological communities.

The site lies within an Aboriginal Heritage zone; however, most of the Norseman townsite is also located within this area so it is not expected to be an issue.

The site is also immediately adjacent to a freight railway line and may therefore be affected by rail noise.

5.0 Siteworks, Earthworks & Retaining

Based on aerial imagery and Street View, it appears 94 Roberts Street is currently surfaced with a concrete slab. It is expected that this slab will be removed as part of the overall demolition works. 96 Roberts Street may require a topsoil strip prior to construction. Norseman does not appear to utilise a traditional pit and pipe stormwater network but instead relies on overland flow paths into open drains. Street view photography indicates that there are outlet pipes located in the kerb along Roberts Street (refer **Figure 2** below). Stormwater discharge from the site appears to flow south to the large open drain that runs west to east along Austin St.



Figure 2: Existing Stormwater Discharge Pipes

Based on the site levels, it is expected that some minor filling of site will be required to facilitate stormwater drainage into the outlet pipes in the kerb.

6.0 Sewer Reticulation

The sewer reticulation within Norseman is privately owned so information on the existing network is not readily available. A wastewater treatment plant (WWTP) owned by Resource Accommodation Management is located at the corner of Richardson Street and Mildura Street. It is expected that a private pump station will be required on site to pump wastewater to the WWTP.

It is anticipated that the sewer pressure main will run west along Talbot Street before discharging to a proposed private pump station at the Mildura Street accommodation village. From the village, wastewater would be pumped north towards the existing WWTP (refer **Figure 3** below).



Figure 3: Expected Sewer Servicing

7.0 Water Reticulation

There is an existing 100PVC Water Corporation water main with the Neville Parade verge. Water Corporation's online asset mapping (refer **Figure 4**) indicates there are existing meters to both lots. It is assumed that one or both of these meters can be used to service the accommodation village and upgraded to meet demand as necessary.

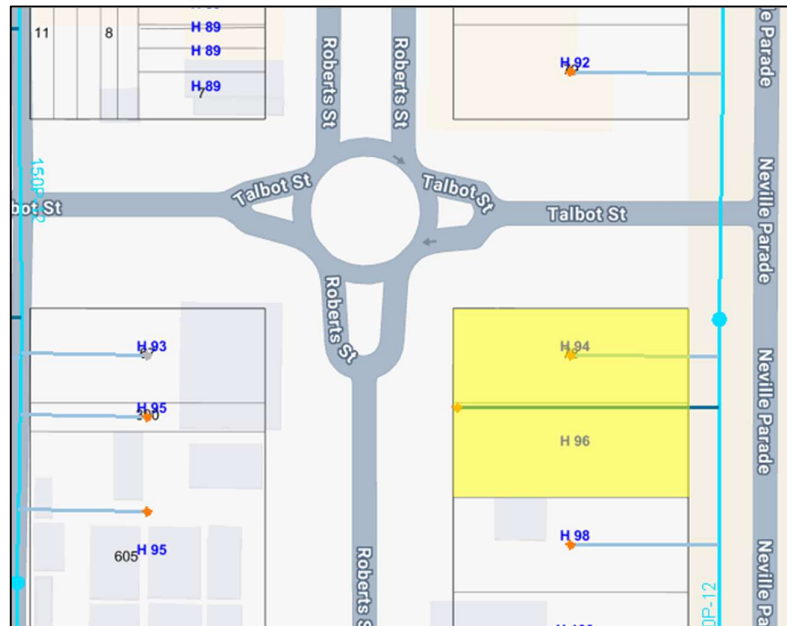


Figure 4: Existing Water Reticulation

8.0 Stormwater Drainage

It is expected that site levels will need to be raised in order to facilitate overland flow paths for stormwater drainage. This flow will need to be directed towards the Roberts St gutter and the Neville Pde swale and can be achieved by grading the site from the centre towards the east and west verges and use of trench / floor grates connected with shallow pipework. The pipework shall connect into the existing kerb outlets on Roberts St with new shallow outlets constructed in the Neville Pde verge to discharge stormwater to the shallow swale. It is expected that this flow will continue south to the open drain located along Austin Street.

9.0 Roads, Paths, and Fencing

The surrounding road network is sealed and kerbed. There are suitable areas for the proposed parking bays which will require new pavement marking. The existing bitumen path bordering the site has been noted by the surveyor to be in average condition and may need to be upgraded or repaired in areas. There is no proposed vehicle access to the site so no new crossover will be required.

1800mm high Colorbond fencing has been noted to be installed around the site as per the preliminary design drawings.

10.0 Power

The DBYD records from Horizon Power (refer **Figure 5**) show that there is an existing power connection to 94 Roberts Road. It is expected that this feed can be used to service the accommodation village.

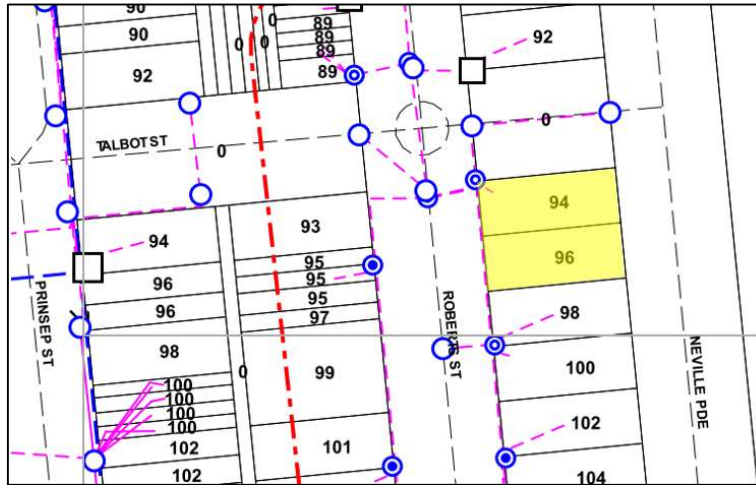


Figure 5: Existing Power Infrastructure

No data is available regarding the current or forecasted capacity of the network. It is recommended that the developer seek advice from an electrical engineer to confirm expected requirements and any additional costs to provide an adequate power supply.

11.0 Communications

The DBYD records from Telstra and NBN (refer **Figure 6**) show that there is an existing NBN communications connection to both lots. It is expected that this feed can be used to service the accommodation village.

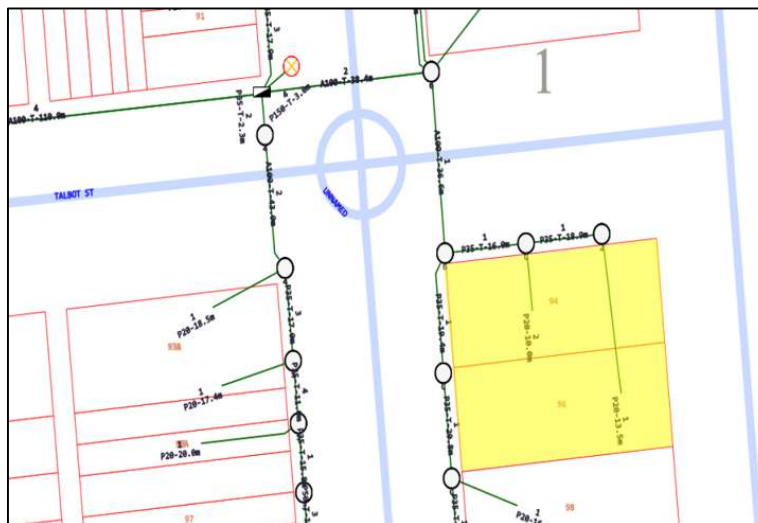


Figure 6: Existing Communications Infrastructure

12.0 Mobile Communications

Mobile connectivity (4G and 5G) for new developments is an important consideration. A mobile service is received from local and regional antennae that are operated by various communications providers. **Figure 7** below shows the location of existing antennae (blue and green dots) near the site (red).



Figure 7: Existing Mobile Service Antennae

Figure 8 shows Telstra's 4G network coverage. Norseman is not currently within Telstra's 5G coverage zone.



Figure 8: Telstra 4G Coverage

Based on the above, there are multiple mobile service antennae in close proximity to site, and the site has only 4G coverage. It is anticipated that mobile connectivity will be available for the Roberts Street accommodation village.

13.0 Gas

There is no reticulated gas within Norseman; however, a gas storage bullet has been proposed as part of the design for this lot.

14.0 Summary

It appears the site is relatively constraint free with no servicing or engineering limitations that prohibit development. The following comments are noted:

- Due to the clayey soil system in the area, a geotechnical investigation of the site is recommended.
- It is anticipated that fill will be required for the lot in order to direct stormwater flow into the existing Norseman stormwater system.
- To manage wastewater, it is anticipated that a private pump station will be required to transport wastewater to the treatment plant.
- It is recommended that Horizon Power are engaged early into the development phase to ensure they do not impact the development program.

Yours faithfully,



Jarryd Treacy
Senior Civil Engineer

Enc.

ATTACHMENT A
Preliminary Design Drawings

PROPOSED ACCOMMODATION VILLAGE

94-96.ROBERTS STREET NORSEMAN, WA, 6443



SHEET No.	SHEET NAME	REVISION	REVISION DATE
SK-00	TITLE PAGE	B	26/02/26
SK-01	SITE LOCATION PLAN	B	26/02/26
SK-02	SITE OVERALL PLAN	B	26/02/26
SK-03	EXISTING SITE PLAN	B	26/02/26
SK-04	SITE PLAN	B	26/02/26

SHEET No.	SHEET NAME	REVISION	REVISION DATE
SK-05	GROUND FLOOR PLAN	B	26/02/26
SK-20	PERSPECTIVES	A	26/02/26
SK-21	PERSPECTIVES	A	26/02/26
SK-22	PERSPECTIVES	A	26/02/26
SK-23	PERSPECTIVES	A	26/02/26

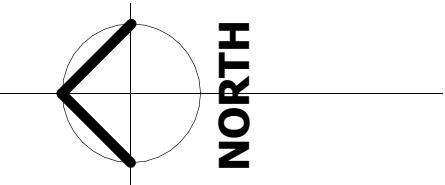


ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535
E-MAIL: admin@ambd.com.au
www.ambd.com.au



ENDORSED
Sustainable Building Designer

Townsville - Brisbane - Goldcoast



PROPOSED SITE LOCATION

EXISTING ACCOMMODATION DINING FACILITIES

COOLGARDIE-ESPERANCE HIGHWAY

EXISTING ACCOMMODATION VILLAGE

RAMSAY STREET

EXISTING SEWERAGE TREATMENT PLANT

LOCAL HOSPITAL

LOCAL AIRPORT

NOT FOR CONSTRUCTION

CP-SITE LOCATION PLAN
1 : 10000@A3

NOTE:
- VERIFY ALL DIMENSIONS ON SITE
- NOTED DIMENSIONS TAKE PRESEDENT OVER
- SCALED DIMENSIONS

© COPYRIGHT: ANDRE MELVILLE BUILDING
DESIGN & DRAFTING SERVICES (AMBD)
These plans are not to be reproduced wholly or in part
without the express written permission of AMBD

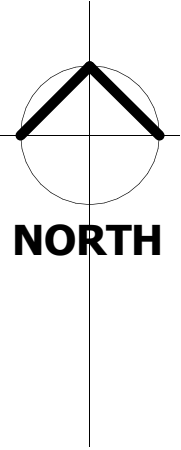
PROJECT : PROPOSED ACCOMMODATION VILLAGE
CLIENT : Resource Accommodation Management Pty Ltd
LOCATION: 94-96.ROBERTS STREET NORSEMAN, WA, 6443

QBCC No. 1222804
ABN No. 37 155 932 675

ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535
E-MAIL: admin@ambd.com.au
www.ambd.com.au

ENDORSED
Sustainable Building Designer
Townsville - Brisbane - Goldcoast

No.	Description	Date	DESIGNED	AM	SITE LOCATION PLAN
A	PRELIMINARY SITE CONCEPT	03/02/26	DRAWN	AM	
B	BA ISSUE	26/02/26	DATE	FEB 2025	
			SCALE	A3 1 : 10000	
			ISSUED	26/02/26	25-116 - SK-01 - B



NORSEMAN CAFE

NORSEMAN ACCOMMODATION

THE LODGE VILLAGE
EXISTING ACCOMMODATION

PROPOSED SITE

CP-SITE AREA PLAN
1 : 2000@A3

NOT FOR CONSTRUCTION

NOTE: - VERIFY ALL DIMENSIONS ON SITE - NOTED DIMENSIONS TAKE PRESEDENT OVER - SCALED DIMENSIONS © COPYRIGHT, ANDRE MELVILLE BUILDING DESIGN & DRAFTING SERVICES (AMBD) These plans are not to be reproduced wholly or in part without the express written permission of AMBD	PROJECT : PROPOSED ACCOMMODATION VILLAGE
	CLIENT : Resource Accommodation Management Pty Ltd
	LOCATION: 94-96.ROBERTS STREET NORSEMAN, WA, 6443



QBCC No. 1222804
ABN No. 37 155 932 675

ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535
E-MAIL: admin@ambd.com.au
www.ambd.com.au

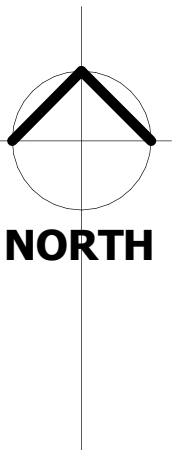


ENDORSED
Sustainable Building Designer

Townsville - Brisbane - Goldcoast

No.	Description	Date	DESIGNED	AM	SITE OVERALL PLAN
A	PRELIMINARY SITE CONCEPT	03/02/26	DRAWN	AM	
B	BA ISSUE	26/02/26	DATE	FEB 2025	
			SCALE	A3 1 : 2000	
			ISSUED	26/02/26	25-116 - SK-02 - B

2023/02/26 7:56:23 AM



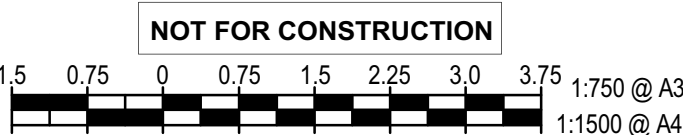
EXISTING AWNING TO BE DEMOLISHED

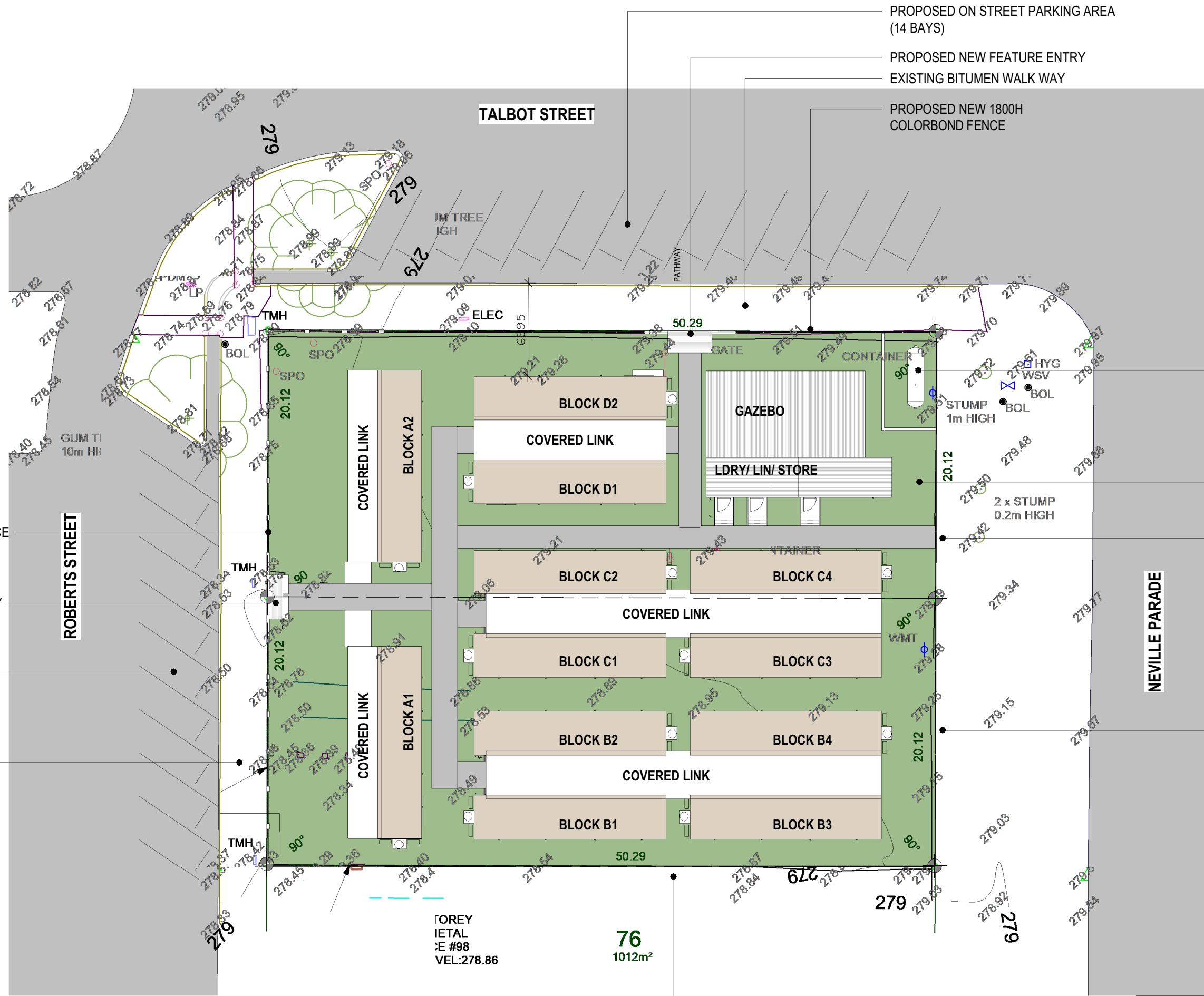
EXISTING CONTAINER TO BE REMOVED

EXISTING CONTAINER TO BE REMOVED

EXISTING SHED TO BE REMOVED

CP - EXISTING SITE PLAN
1 : 500@A3





CP - SITE PLAN
1 : 300@A3

PROJECT : PROPOSED ACCOMMODATION VILLAGE
CLIENT : Resource Accommodation Management Pty Ltd
LOCATION: 94-96.ROBERTS STREET NORSEMAN, WA, 6443

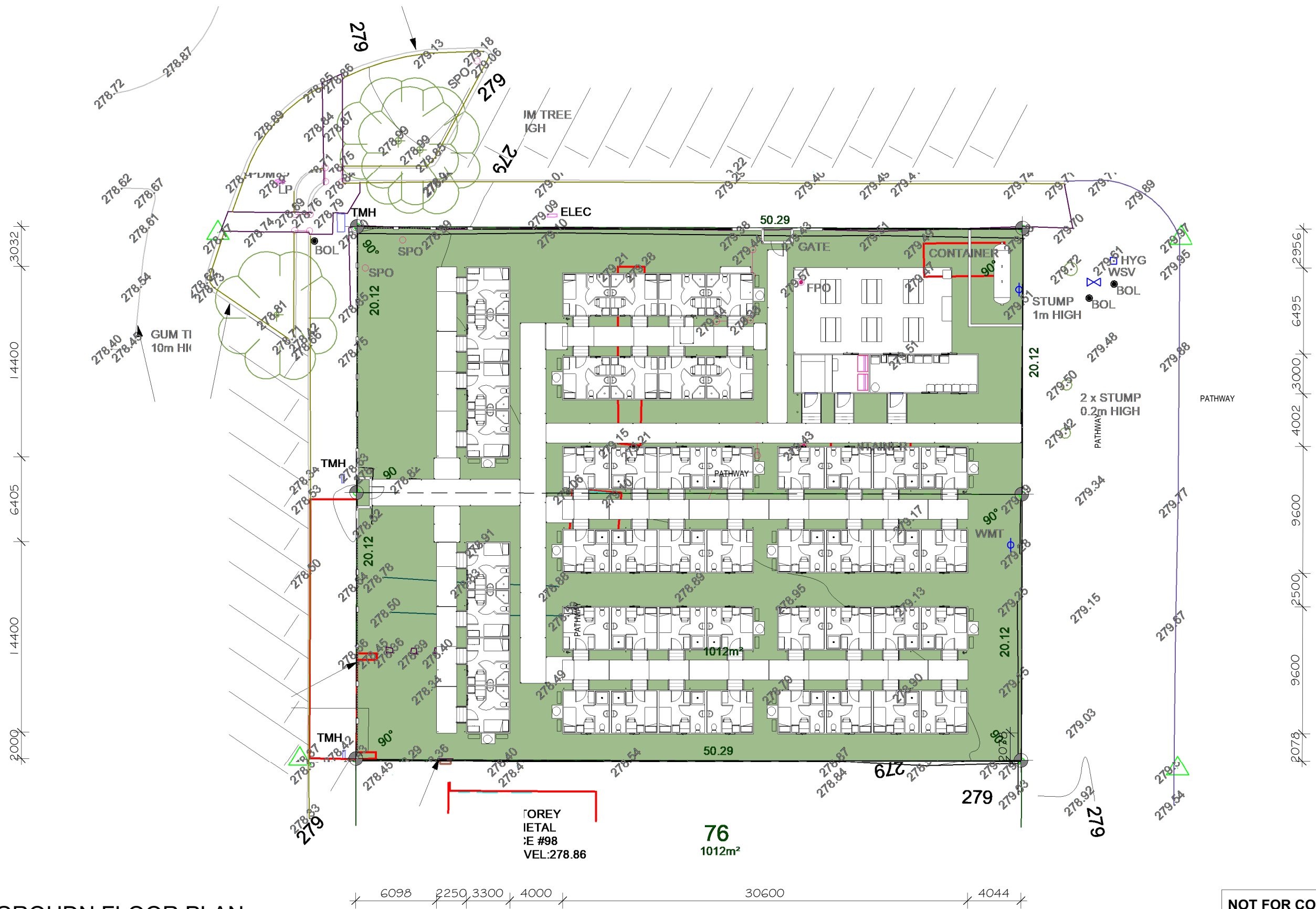
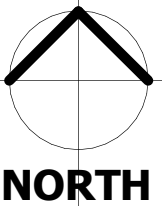


ANDRE MELVILLE BUILDING DESIGN
 & DRAFTING SERVICES
 P.O BOX 8, LABRADOR, QLD 4814
 Ph: 0498 001 535
 E-MAIL: admin@ambd.com.au
www.ambd.com.au Townsville



No.	Description	Date	DESIGNED	AM	SITE PLAN
A	PRELIMINARY SITE CONCEPT	03/02/26	DRAWN	AM	
B	BA ISSUE	26/02/26	DATE	FEB 2025	25-116 - SK-04 - B
			SCALE	A3 1 : 300	
			ISSUED	26/02/26	

2/03/2026 7:56:26 AM



CP-SITE GROUDN FLOOR PLAN
1 : 300@A3

NOT FOR CONSTRUCTION









NOT FOR CONSTRUCTION

NOTE:
- VERIFY ALL DIMENSIONS ON SITE
- NOTED DIMENSIONS TAKE PRESEDENT OVER
- SCALED DIMENSIONS
© COPYRIGHT, ANDRE MELVILLE BUILDING
DESIGN & DRAFTING SERVICES (AMBD)
These plans are not to be reproduced wholly or in part
without the express written permission of AMBD

PROJECT : PROPOSED ACCOMMODATION VILLAGE
CLIENT : Resource Accommodation Management Pty Ltd
LOCATION: 94-96.ROBERTS STREET NORSEMAN, WA, 6443



QBCC No. 1222804
ABN No. 37 155 932 675

ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535
E-MAIL: admin@ambd.com.au
www.ambd.com.au



Townsville - Brisbane - Goldcoast

No.	Description	Date
A	BA ISSUE	26/02/26

DESIGNED	AM
DRAWN	AM
DATE	FEB 2025
SCALE	A3
ISSUED	26/02/26

PERSPECTIVES
25-116 - SK-22 - A



NOTE:
- VERIFY ALL DIMENSIONS ON SITE
- NOTED DIMENSIONS TAKE PRESEDENT OVER
- SCALED DIMENSIONS

© COPYRIGHT: ANDRE MELVILLE BUILDING
DESIGN & DRAFTING SERVICES (AMBD)
These plans are not to be reproduced wholly or in part
without the express written permission of AMBD

PROJECT : PROPOSED ACCOMMODATION VILLAGE
CLIENT : Resource Accommodation Management Pty Ltd
LOCATION: 94-96.ROBERTS STREET NORSEMAN, WA, 6443



ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
Ph: 0498 001 535
E-MAIL: admin@ambd.com.au
www.ambd.com.au



No.	Description	Date
A	BA ISSUE	26/02/26

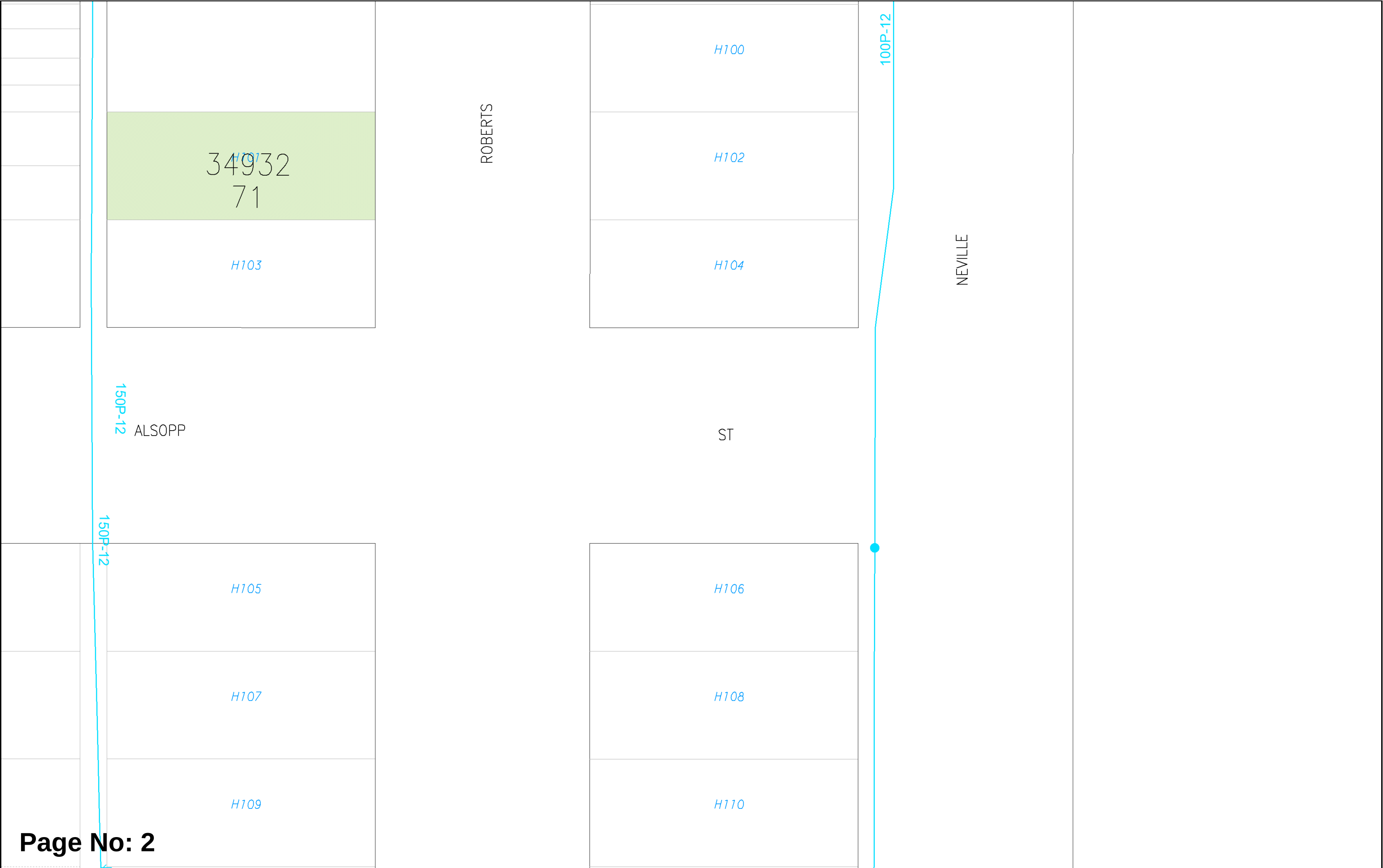
DESIGNED	AM
DRAWN	AM
DATE	FEB 2025
SCALE	A3
ISSUED	26/02/26

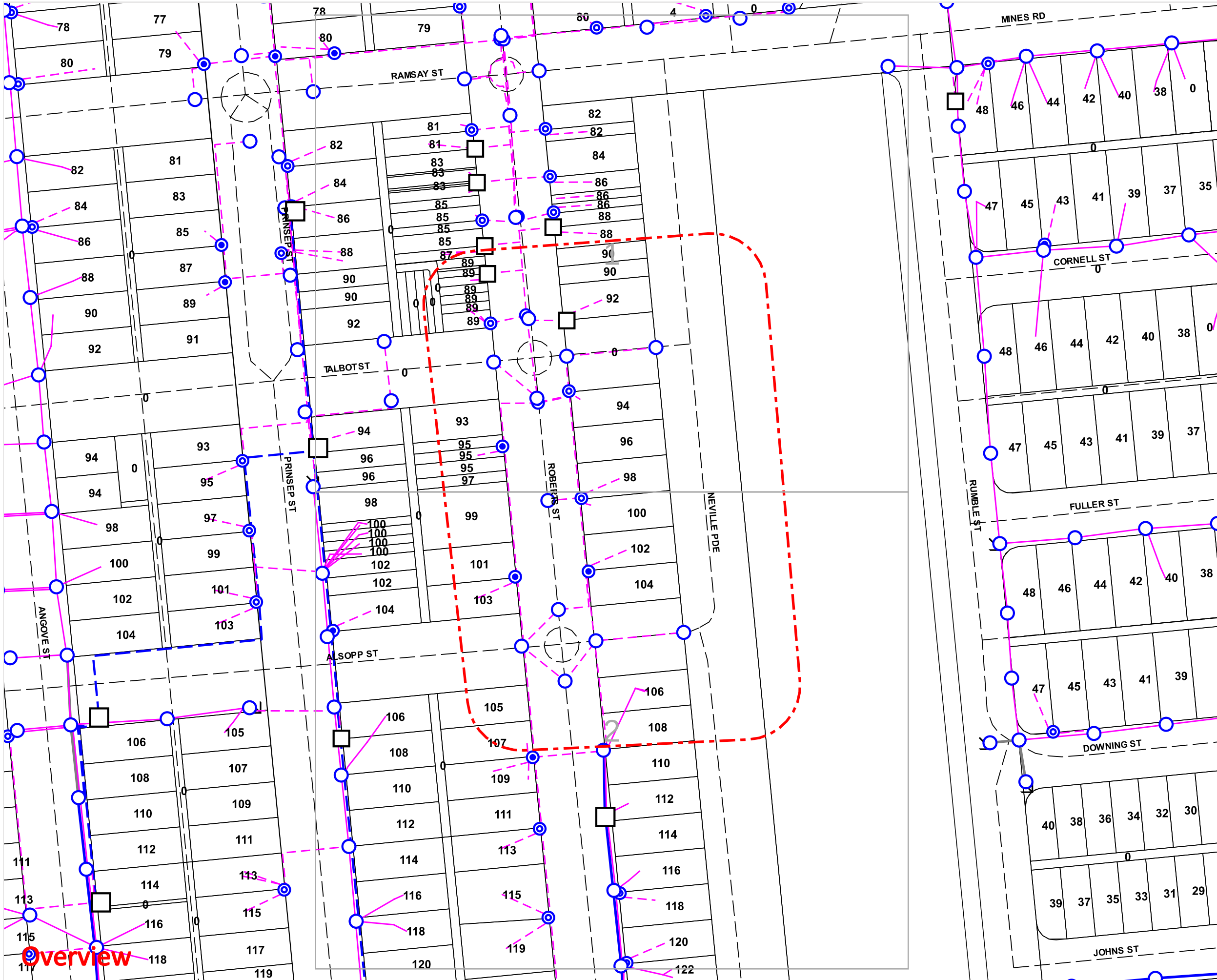
PERSPECTIVES
25-116 - SK-23 - A

ATTACHMENT B
Dial Before You Dig Records









Legend

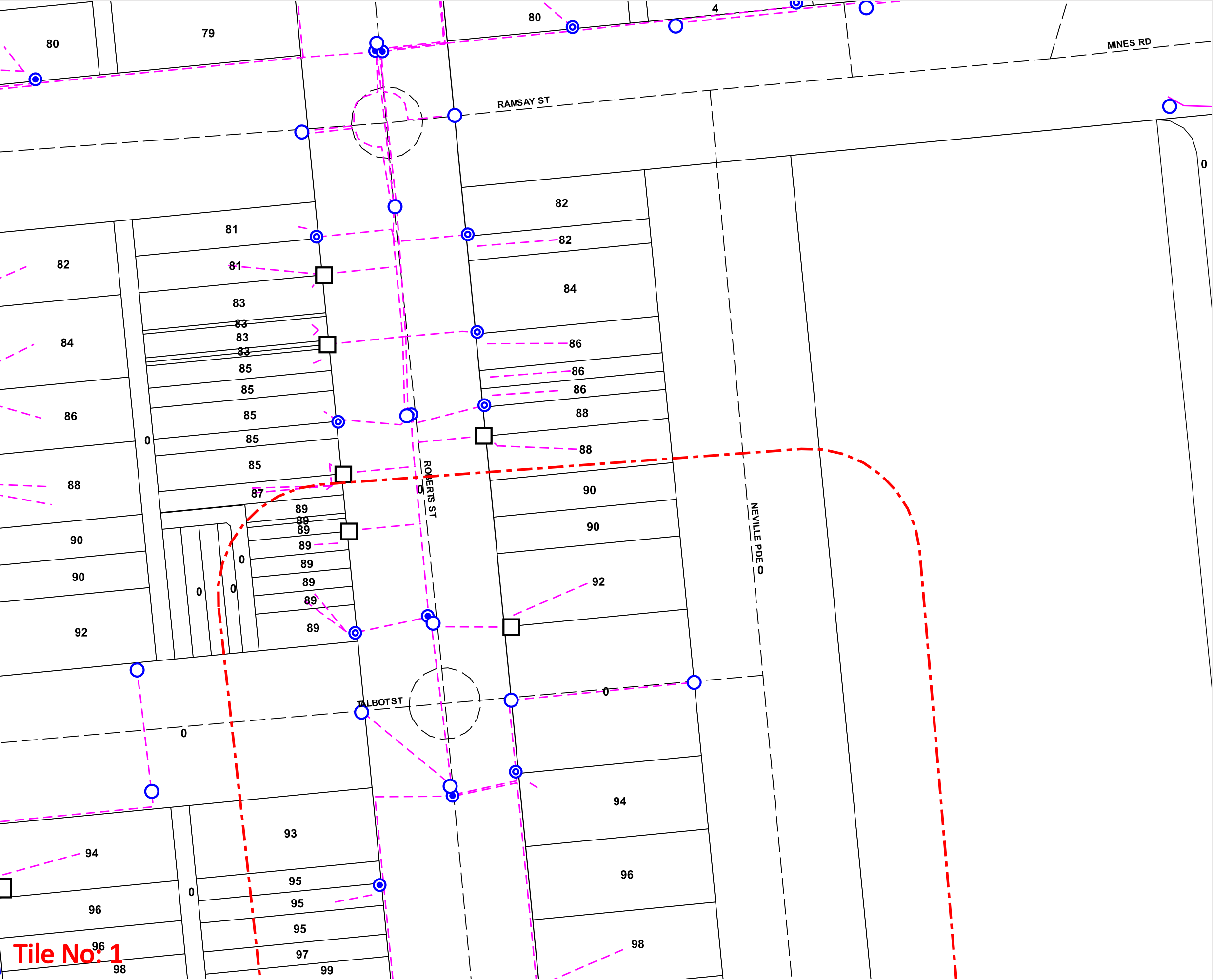
Existing	Proposed	
		Distribution Substation
		Distribution Pole
		LV Mini Pillar
		LV Universal Pillar
		LV Cabinet
		LV Unmetered Supply Pit
		LV Service Pit
		LV Wall Mounted Box
		LV Unknown Structure
		LV Distribution Cable - Underground
		LV Distribution Wire - Overhead
		HV Distribution Cable - Underground
		HV Distribution Wire - Overhead
		Stay Anchor
		Stay Wire
		Transmission Cable - Underground
		Transmission Wire - Overhead
		Transmission Pole
		Transmission Tower
		Communications Cable
		Fibre Optic Cable
		Zone Substation



Scale: 1:2050
Expires: 13 May 2026

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Horizon Power nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Overview



Legend

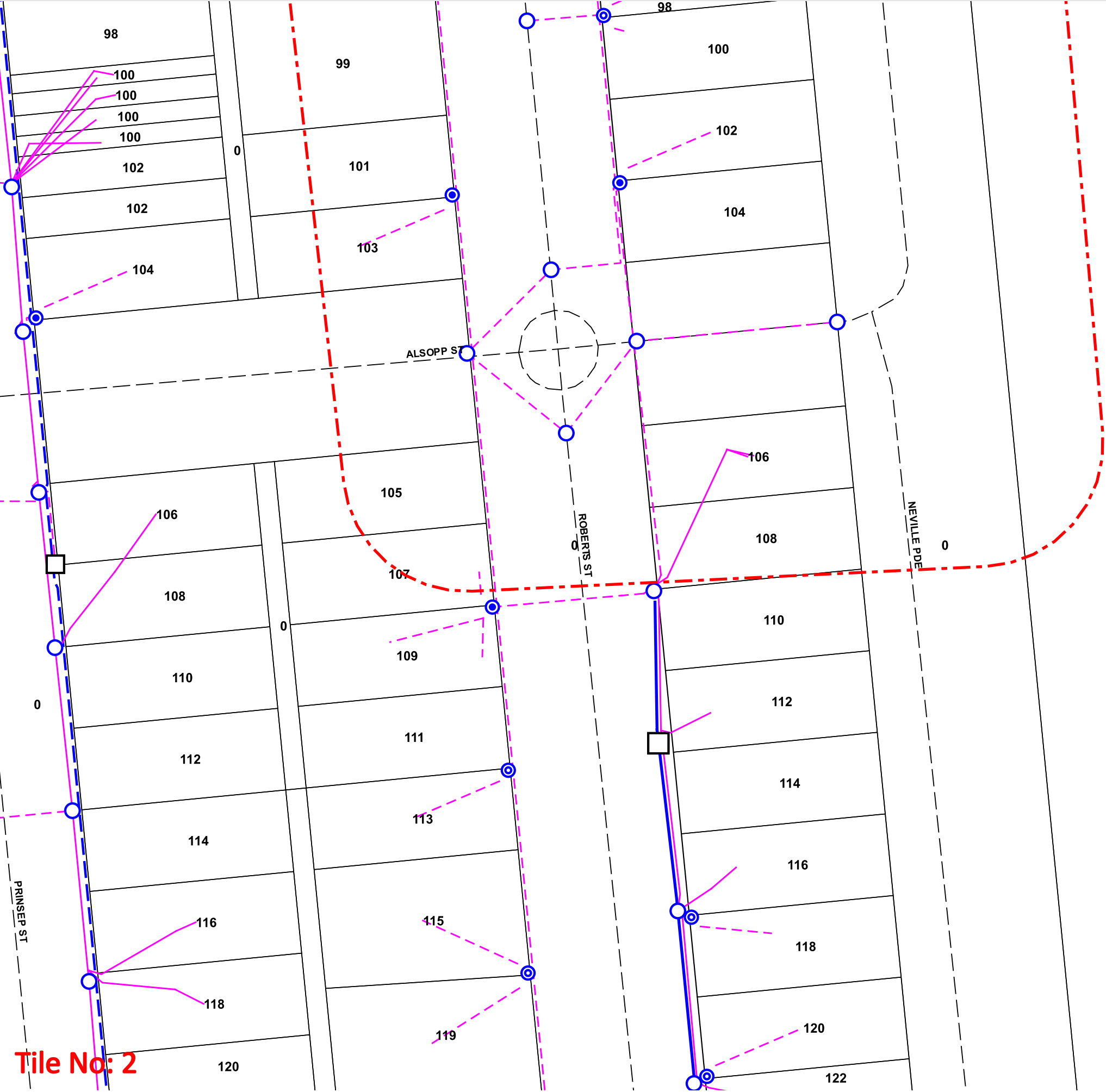
Existing	Proposed	
		Distribution Substation
		Distribution Pole
		LV Mini Pillar
		LV Universal Pillar
		LV Cabinet
		LV Unmetered Supply Pit
		LV Service Pit
		LV Wall Mounted Box
		LV Unknown Structure
		LV Distribution Cable - Underground
		LV Distribution Wire - Overhead
		HV Distribution Cable - Underground
		HV Distribution Wire - Overhead
		Stay Anchor
		Stay Wire
		Transmission Cable - Underground
		Transmission Wire - Overhead
		Transmission Pole
		Transmission Tower
		Communications Cable
		Fibre Optic Cable
		Zone Substation



Scale: 1:1000
Expires: 13 May 2026

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Horizon Power nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Tile No: 1



Legend

Existing	Proposed	
		Distribution Substation
		Distribution Pole
		LV Mini Pillar
		LV Universal Pillar
		LV Cabinet
		LV Unmetered Supply Pit
		LV Service Pit
		LV Wall Mounted Box
		LV Unknown Structure
		LV Distribution Cable - Underground
		LV Distribution Wire - Overhead
		HV Distribution Cable - Underground
		HV Distribution Wire - Overhead
		Stay Anchor
		Stay Wire
		Transmission Cable - Underground
		Transmission Wire - Overhead
		Transmission Pole
		Transmission Tower
		Communications Cable
		Fibre Optic Cable
		Zone Substation

Scale: 1:1000
Expires: 13 May 2026

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Horizon Power nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Tile No: 2

To: Jarryd Treacy
Phone: Not Supplied
Fax: Not Supplied
Email: jarryd@portereng.com.au

Dial before you dig Job #:	52888989	
Sequence #	271316487	
Issue Date:	15/04/2026	
Location:	98 Roberts Street , Norseman , WA , 6443	

Indicative Plans are tiled below to demonstrate how to layout and read nbn asset plans

1

2

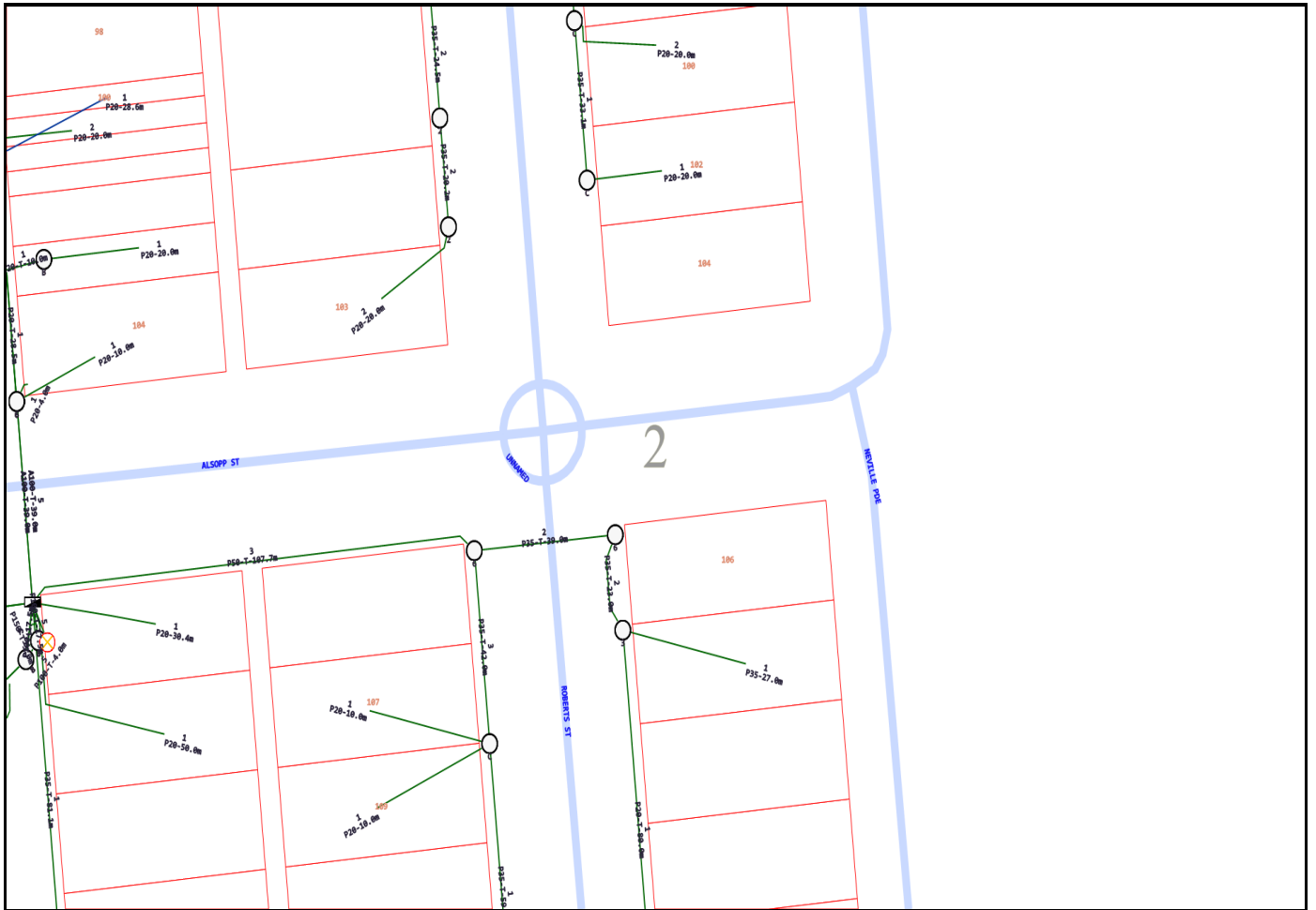


LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m



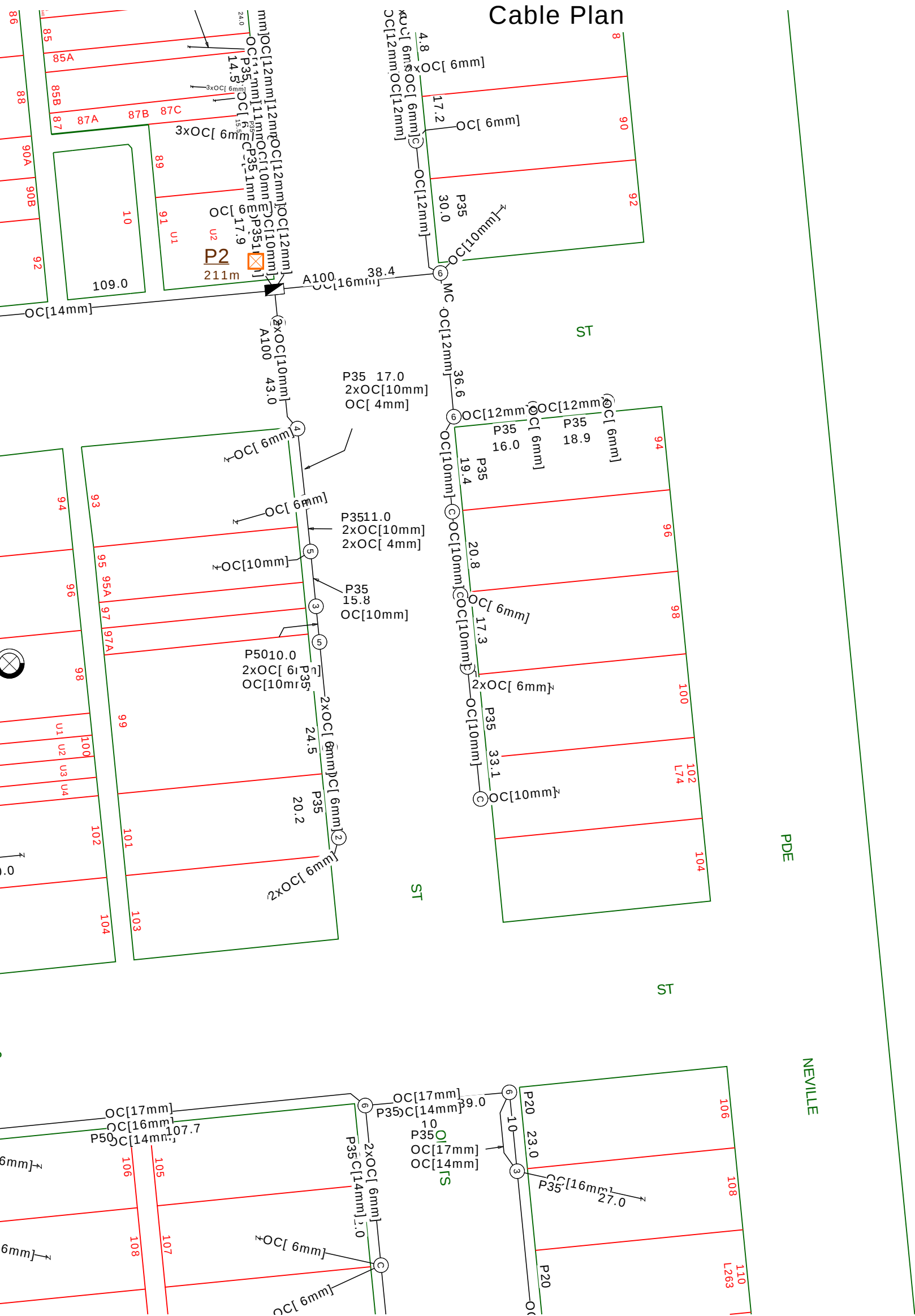


Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



Cable Plan



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra->
Ph - 13 22 03
Email - Telstra.Plans@team.telstra.com
Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

TELSTRA LIMITED A.C.N. 086 174 781

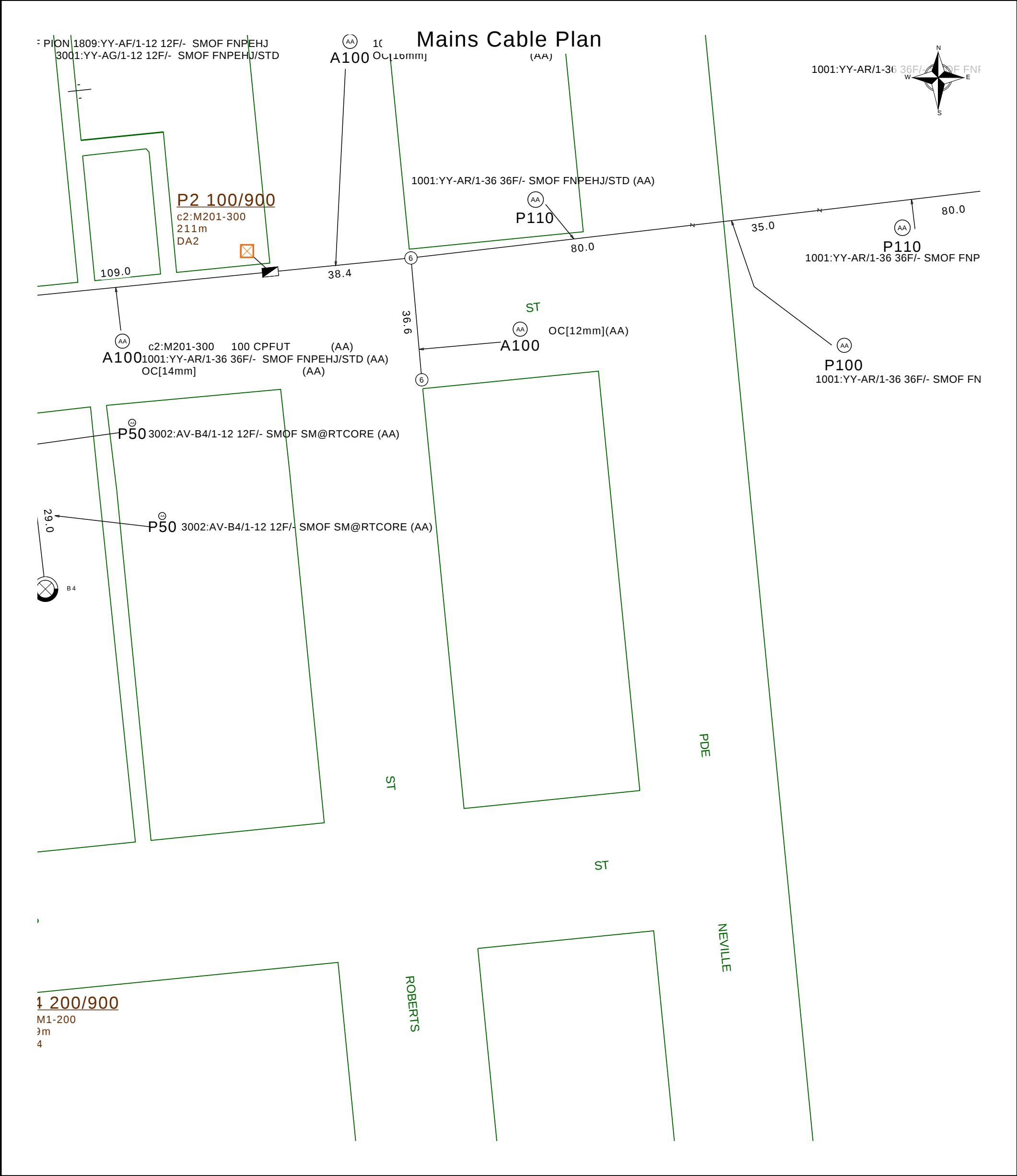
Generated On 15/04/2026 12:16:54

Sequence Number: 271316489

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact InfraCo Plan Services should you require any assistance.

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.
See the Steps- Telstra Duty of Care that was provided in the email response.



	Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra- Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 271316489
TELSTRA LIMITED A.C.N. 086 174 781 Generated On 15/04/2026 12:16:55		CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact InfraCo Plan Services should you require any assistance.

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Attachment Six

Landscaping Plan



BEE FRIENDLY
GARDENS

Planting Guide & Species List

94-96 Roberts Street, Norseman, WA, 6443

Climate:

Semi-Arid

Environmental Overview:

Norseman is located within The Great Western Woodlands region of Western Australia and is part of one of the world's global biodiversity hotspots. More than 20% of Australia's flowering plant species and 30% of Australia's Eucalyptus species are found within the Great Western Woodlands – making it a highly significant bioregion at a national and international level.

Site:



Species List	
Local Nursery (KBULG) <i>*Subject to availability*</i>	Bunnings / Online Vendors (e.g. Benara Nurseries)
<i>Large Shrubs</i>	<i>Large Shrubs</i>
Eremophila youngii	Callistemon spp. (Dawson River Weeper, Perth Pink)
Senna artemisioides	Atriplex nummularia
	Grevillea spp. (Kings Park)
<i>Small Shrubs</i>	<i>Small Shrubs</i>
Westringia spp. (rigida / fruticosa)	Westringia fruticosa
Eremophila glabra	Eremophila glabra
Eremophila maculata	Eremophila maculata
<i>Ground Covers / Flowering Plants</i>	<i>Ground Covers / Flowering Plants</i>
Myoporum spp.	Gossypium sturtanum
Eremophila glabra (Kalbarri Carpet)	Myoporum spp.(parvifolium, insulare)
	Eremophila glabra (Kalbarri Carpet)
	Scaevola aemula

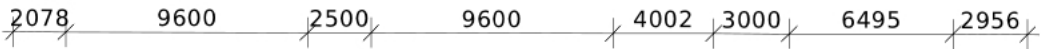
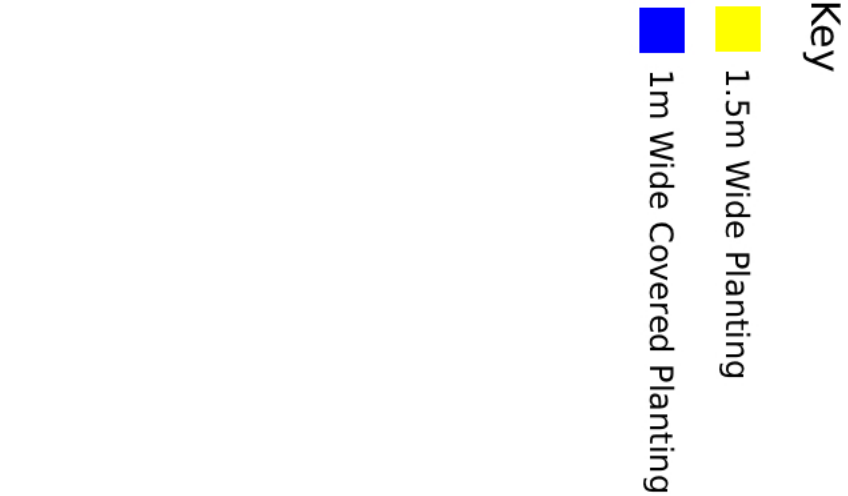
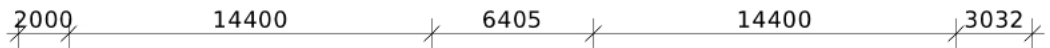
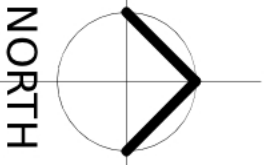
Contact for Local Nursery:
Kim Eckert OAM GAICD | CEO
Kalgoorlie-Boulder Urban Landcare Group

“As KBULG is a small not-for-profit, our funded project work is limited to the Kalgoorlie–Boulder area. That said, we’re more than happy to support other regional projects on an ad-hoc, fee-for-service basis, without any ongoing contractual arrangements.

We’d also be happy to help by suggesting suitable local species from the Kalgoorlie–Boulder area that we’d expect to do well in a camp garden setting. We would just need to know in advance how many large, medium and low-growing plants are required, so we have enough time to propagate them.

Please let me know if you’d like to involve us in this project... we’d love to be part of it and assist where we can.”

PO Box 8133, Hannans WA 6433
Karlkurla Bushland Park, Tumberri Way, Kalgoorlie, WA 6430
Phone: 0429 805 521
Email: ceo@kbulg.org.au
Website: www.kbulg.org.au



76
1012m²



NOT FOR CONSTRUCTION

CP-SITE GROUND FLOOR PLAN

1 : 300@A3

PP

PP

NOTE:
5
E
JR

PROJECT : PROPOSED ACCOMMODATION VILLAGE
:
94
Y
3

ANDRE MELVILLE BUILDING DESIGN
& DRAFTING SERVICES
P.O BOX 8, LABRADOR, QLD 4814
E-MAIL: admin@amd.com.au
www.amdbd.com.au

OBCC No. 1222804
Adm No. 37155 932675

ENDORSED
Sustainable Building Designer

AM

AM

AM

No.	Description	Date	DESIGNED	AM	GROUND FLOOR PLAN
A	PRELIMINARY SITE CONCEPT	26/02/26	DATE	AM	25 B
B	DR. SIDE	26/02/26	DATE	AM	
			SCALE	AM	
			ISSUED	26/02/26	

2/03/2026 7:56:27 AM

1:150 @ A4

Planting Pattern:

Key:



Shrub



Ground Cover

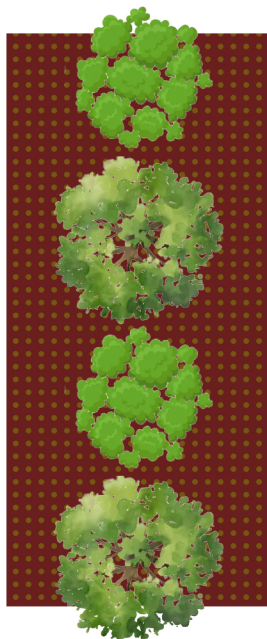


Large Shrub / Tree

1 METRE WIDE PLANTING

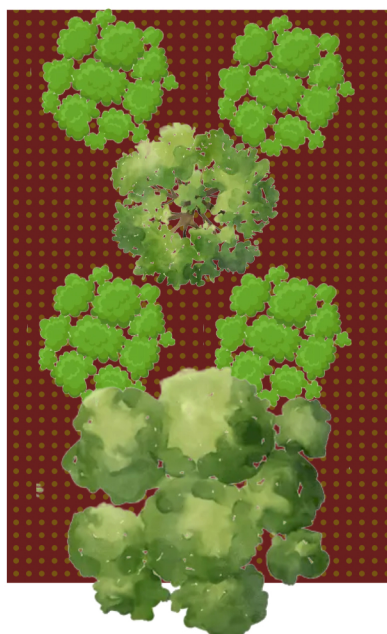
Pattern repeating every 2.5 metres

Note No large shrubs/trees in covered linkways



1.5 METRE WIDE PLANTING

Pattern repeating every 2.5 metres



Plant Maintenance:

(For optimum results and increased success rate)

Planting

Water thoroughly as soon as the plant is in the ground. For larger plants, fill the planting hole with water, let it drain completely, then fill again and insert the plant. This ensures the entire root ball is saturated and helps the surrounding soil settle in place. Once the plant is planted, press the soil firmly and saturate the ground to ensure any remaining air pockets are removed.

Watering

A reticulation system is recommended with drip or micro-spray irrigation due to semi-arid climate. A watering schedule (weather depending) of 3 times per week for the first 12-18 months will ensure best results (a government irrigation guideline will be attached as a separate document).

Mulch

Mulching of all planted areas is recommended to retain moisture.